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By Mattie VandenBoom at 3:56 pm, May 20, 2024

CORNERSTONE BANK SITE IMPROVEMENTS

1125 PLEASANT STREET
WORCESTER, MA 01602

SHEET INDEX

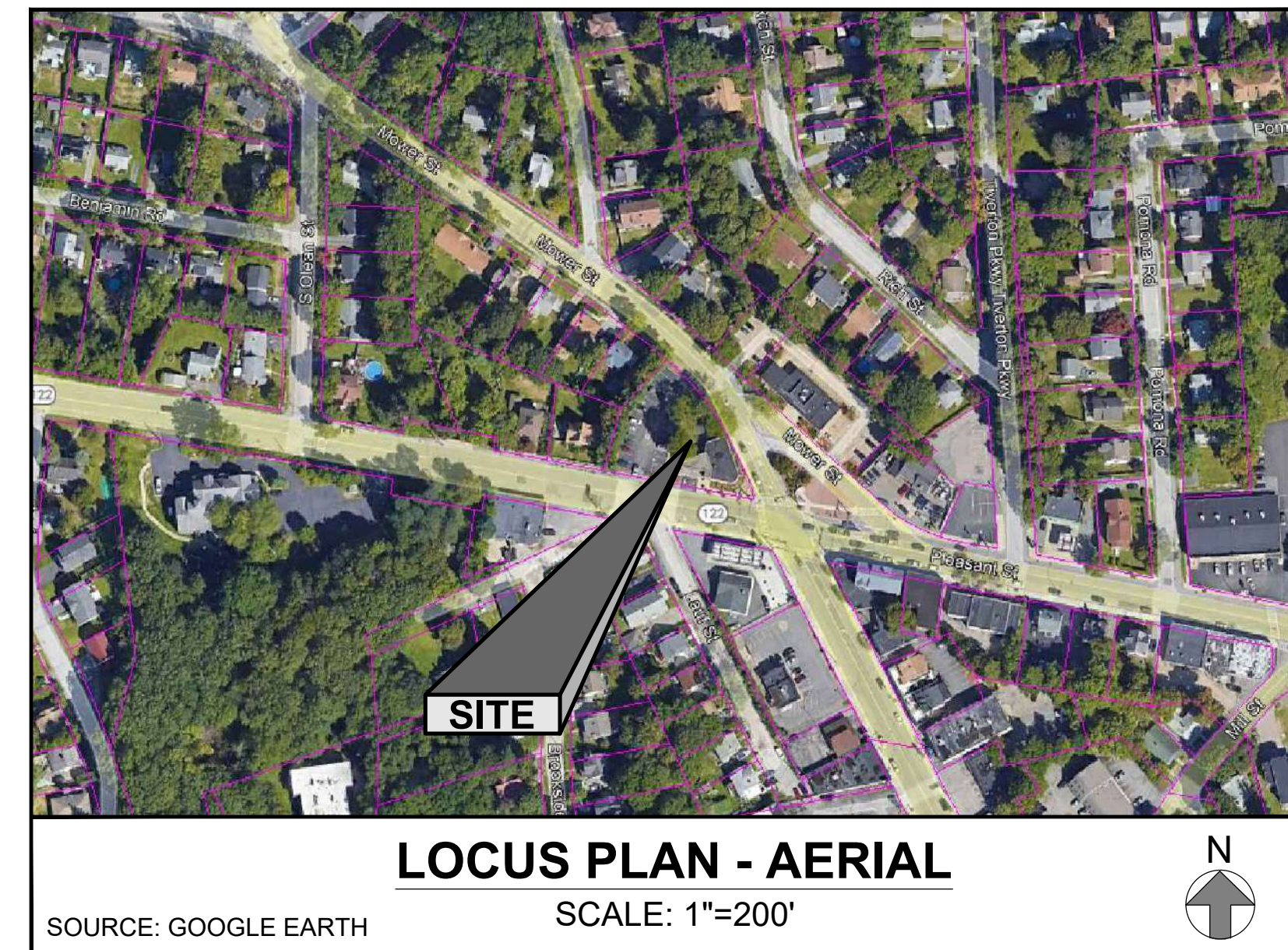
No.	Title	Issue Date
C001	Cover Sheet	May 20, 2022
C101	Site Demo & Sediment and Erosion Control Plan	May 20, 2022
C102	Site Plan	May 20, 2022
C501	Site Details - 1	May 20, 2022

REVISIONS/ISSUES

No.	Note	Date
1	Issued for Permitting	May 20, 2022

REFERENCE PLAN INDEX

No.	Title	Issue Date
-	Existing Conditions Plan of Land (Feldman Geospatial)	February 20, 2024
L101-104	Landscape Plans (EarthDesign Landscape Architecture)	May 14, 2024



OWNER
Cornerstone Bank
235 Main Street
Southbridge, MA 01550

ARCHITECT
Studio Q Architecture
301 Highland Street
Waterbury, CT 06708

APPLICANT
Cornerstone Bank
235 Main Street
Southbridge, MA 01550

LANDSCAPE ARCHITECT
EarthDesign Landscape Architecture, LLC
280 Beverly Road
Worcester, MA 01605



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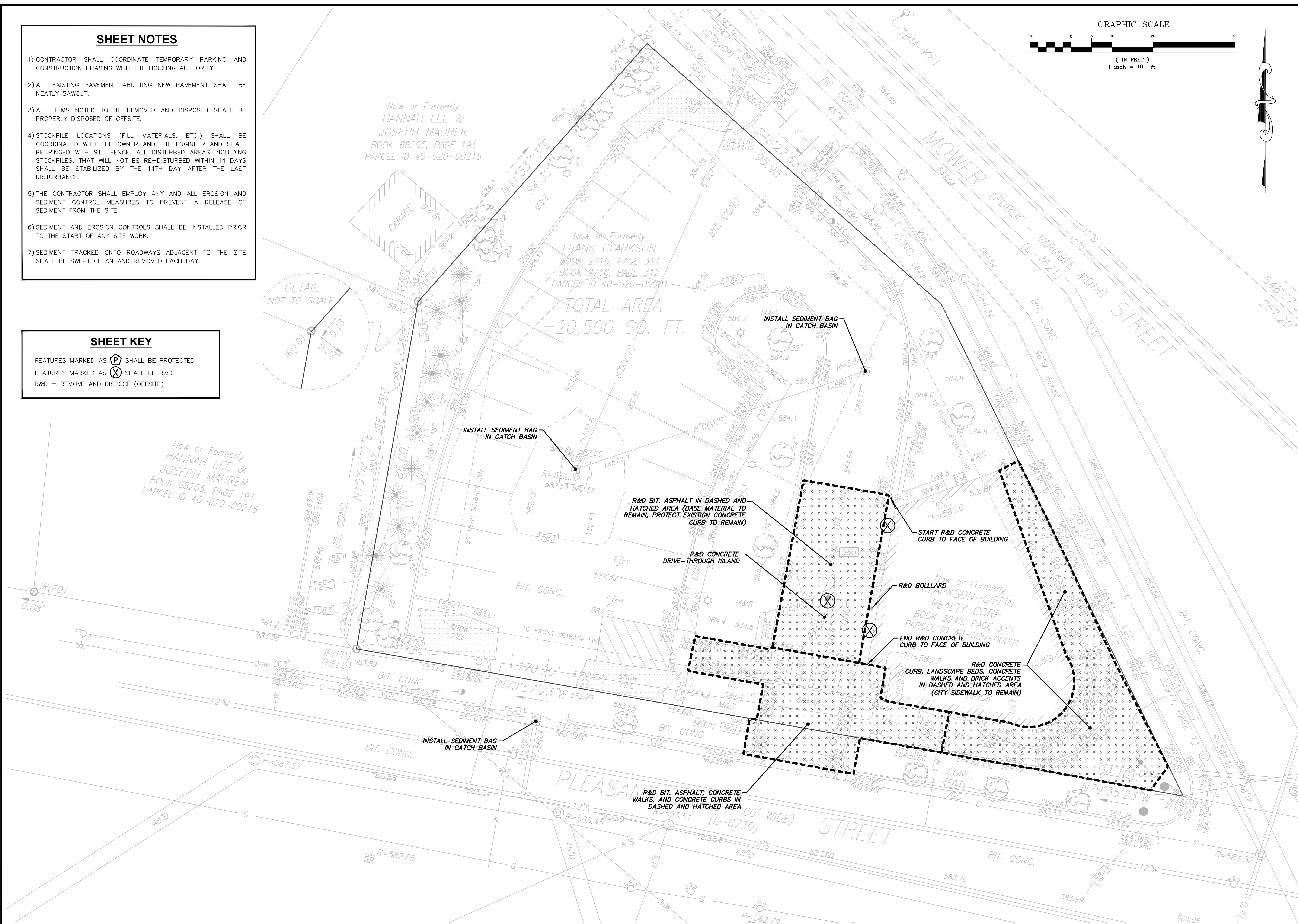
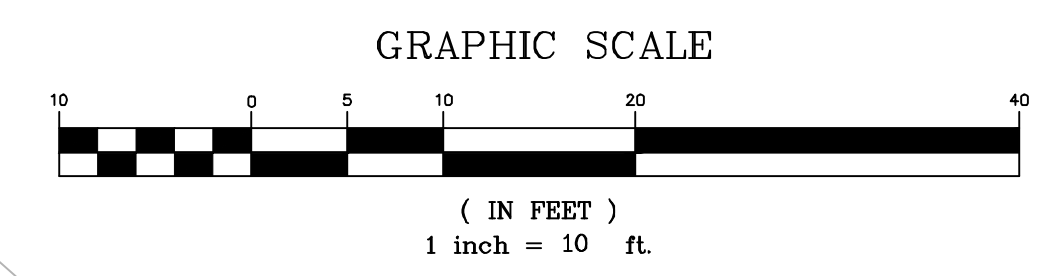


SHEET NOTES

- 1) CONTRACTOR SHALL COORDINATE TEMPORARY PARKING AND CONSTRUCTION PHASING WITH THE HOUSING AUTHORITY.
- 2) ALL EXISTING PAVEMENT ABUTTING NEW PAVEMENT SHALL BE NEATLY SAWCUT.
- 3) ALL ITEMS NOTED TO BE REMOVED AND DISPOSED SHALL BE PROPERLY DISPOSED OFFSITE.
- 4) STOCKPILE LOCATIONS (FILL MATERIALS, ETC.) SHALL BE COORDINATED WITH THE OWNER AND THE ENGINEER AND SHALL BE RINGED WITH SILT FENCE. ALL DISTURBED AREAS INCLUDING STOCKPILES, THAT WILL NOT BE RE-DISTURBED WITHIN 14 DAYS SHALL BE STABILIZED BY THE 14TH DAY AFTER THE LAST DISTURBANCE.
- 5) THE CONTRACTOR SHALL EMPLOY ANY AND ALL EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT A RELEASE OF SEDIMENT FROM THE SITE.
- 6) SEDIMENT AND EROSION CONTROLS SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE WORK.
- 7) SEDIMENT TRACKED ONTO ROADWAYS ADJACENT TO THE SITE SHALL BE SWEEPED CLEAN AND REMOVED EACH DAY.

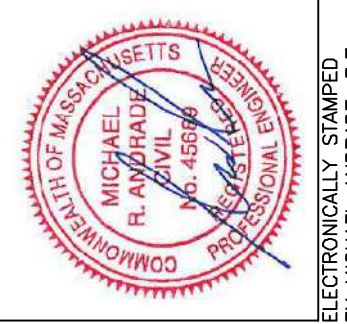
SHEET KEY

- FEATURES MARKED AS  SHALL BE PROTECTED
- FEATURES MARKED AS  SHALL BE R&D
- R&D = REMOVE AND DISPOSE (OFFSITE)



GRAVES ENGINEERING, Inc.
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NO.	DATE	BY	DESCRIPTION
1	05/20/24	MRA	ISSUED FOR PERMITTING



SITE DEMO & SEDIMENT AND EROSION CONTROL PLAN
CORNERSTONE BANK - SITE IMPROVEMENTS
 1125 PLEASANT STREET, WORCESTER, MA 01602

PREPARED FOR: F.W. MADIGAN
 367 CHANDLER STREET, WORCESTER, MA 01602

DATE: 05/20/24 SCALE: 1"=10'
 DES. BY: MRA DRW. BY: MRA CHK. BY: MRA PRJ. NO.: 24105

C101

PROJECT ZONING INFORMATION

CRITERIA	REQUIRED	EXISTING	PROPOSED
USE	NA	FORMER BANK BRANCH	BANK BRANCH
ZONING DISTRICT	BL-1.0	BL-1.0	BL-1.0
OVERLAY DISTRICT	NONE	NONE	NONE
MINIMUM LOT AREA	NA (1)	20,500 SQ.FT.	20,500 SQ.FT.
MINIMUM FRONTAGE	NA (2)	205.0 FT. (PLEASANT ST.)	205.0 FT.
FRONT SETBACK	10 FT.	10.0 FT.	8.4 FT.(3)
SIDE SETBACK	10 FT.	NA	NA
REAR SETBACK	20 FT.	120.6 FT.	120.6 FT.
MAXIMUM BLDG. STORIES	3+	1	1
MAXIMUM BLDG. HEIGHT	40 FT.	<40 FT.	<40 FT.
MAXIMUM F.A.R.	1:1	0.13:1	0.13:1

ZONING INFORMATION SOURCE: THE ABOVE INFORMATION WAS OBTAINED FROM THE CITY OF WORCESTER ZONING ORDINANCE, AMENDED THROUGH MAY 9, 2023.

FOOTNOTES:

- (1) 5,000 SQ.FT. REQ'D FOR RESIDENTIAL USE, NA FOR NON-RESIDENTIAL USE.
- (2) MAX. 200 FT. REQUIRED FOR RESIDENTIAL USE; NA FOR NON-RESIDENTIAL USE.
- (3) RELIEF SOUGHT FOR OF 1.6 FEET OF FRONT YARD SETBACK FOR NEW ENTRY TOWER ON PLEASANT ST.

SHEET NOTES

- 1) THE SITE PROPERTY IS LOCATED WITHIN A DESIGNATED SPECIAL FLOOD ZONE "AE" AS SHOWN ON FIRM MAP 25027C0613E, DATED EFFECTIVE JULY 4, 2011. PER THE JUNE 21, 2023 FLOOD INSURANCE STUDY NUMBER 25027C0070C AND FLOOD PROFILE ON PAGE 294P, THE 100-YEAR FLOODPLAIN ELEVATION AT THIS SITE IS 587.00 (NAVD88 VERTICAL DATUM).
- 2) PROPOSED WALKWAYS SHALL MEET FLUSH WITH FINISH GRADES OF EXISTING AND PROPOSED BIT. WALKS, CONCRETE PADS, ETC.
- 3) ADJUST ALL EXISTING MANHOLES, WATER GATE VALVES, SHUTOFFS, ETC. TO PROPOSED FINISH GRADES WITHIN THE LIMIT OF WORK.
- 4) ALL JOINTS OF EXISTING & PROPOSED BITUMINOUS PAVEMENT SHALL BE SEALED WITH HOT RUBBERIZED ASPHALT JOINT SEALANT AND SANDED.
- 5) PAVEMENT MARKINGS SHALL BE PAINTED WITH WHITE TRAFFIC PAINT CONFORMING TO SECTION M7.01.08 OF THE MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION. LINE WIDTH SHALL BE 4 INCHES. HANDICAP SYMBOL MARKINGS SHALL COMPLY WITH 521 CMR WITH WHITE SYMBOL ON BLUE BACKGROUND.
- 6) CONTRACTOR SHALL COORDINATE WITH PLANS PREPARED BY OTHERS FOR SITE COORDINATION.
- 7) PROVIDE POSITIVE DRAINAGE IN ALL FINISH GRADED WORK AREAS INCLUDING AWAY FROM ALL BUILDINGS.
- 8) ALL NEW PAVEMENT AND CONCRETE SURFACES SHALL BE CONSTRUCTED TO PROPOSED GRADES AS SHOWN AND SHALL BE SMOOTH AND UNIFORM ELIMINATING DEFORMITIES, DEPRESSIONS, PUDDLES, AND TRIP HAZARDS. PROVIDE POSITIVE DRAINAGE ON ALL NEW PAVEMENT AND CONCRETE SURFACES, AWAY FROM BUILDINGS, AND TO EXISTING CATCH BASINS, OUTFALLS OR OTHER COLLECTION POINTS.
- 9) UNLESS OTHERWISE NOTED, PROPOSED WALKWAYS ARE DESIGNED FOR COMPLIANCE WITH 521 CMR ARCHITECTURAL ACCESS BOARD REGULATIONS AND SHALL HAVE RUNNING (LONGITUDINAL) SLOPES NO GREATER THAN 4.5%. CROSS SLOPES OF WALKWAYS SHALL BE PITCHED TO DRAIN BUT NO MORE THAN 1.5%. NEW WALKWAYS SHALL MATCH (BE FLUSH WITH) EXISTING ELEVATIONS WHERE SHOWN OR NOTED WITH CHANGES IN LEVELS (ELEVATIONS) NO GREATER THAN 1/4-INCH.
- 10) SPOT GRADE KEY
 (ME) = EXISTING GRADE TO BE MAINTAINED
 TC = TOP OF CURB FINISH GRADE
 BC = BOTTOM OF CURB FINISH GRADE
 FFE = BUILDING FINISH FLOOR ELEVATION
 VIF = VERIFY IN FIELD (CONTRACTOR)
 CB = CATCH BASIN
 HP = HIGH POINT
 LP = LOW POINT
 ME = MATCH EXISTING

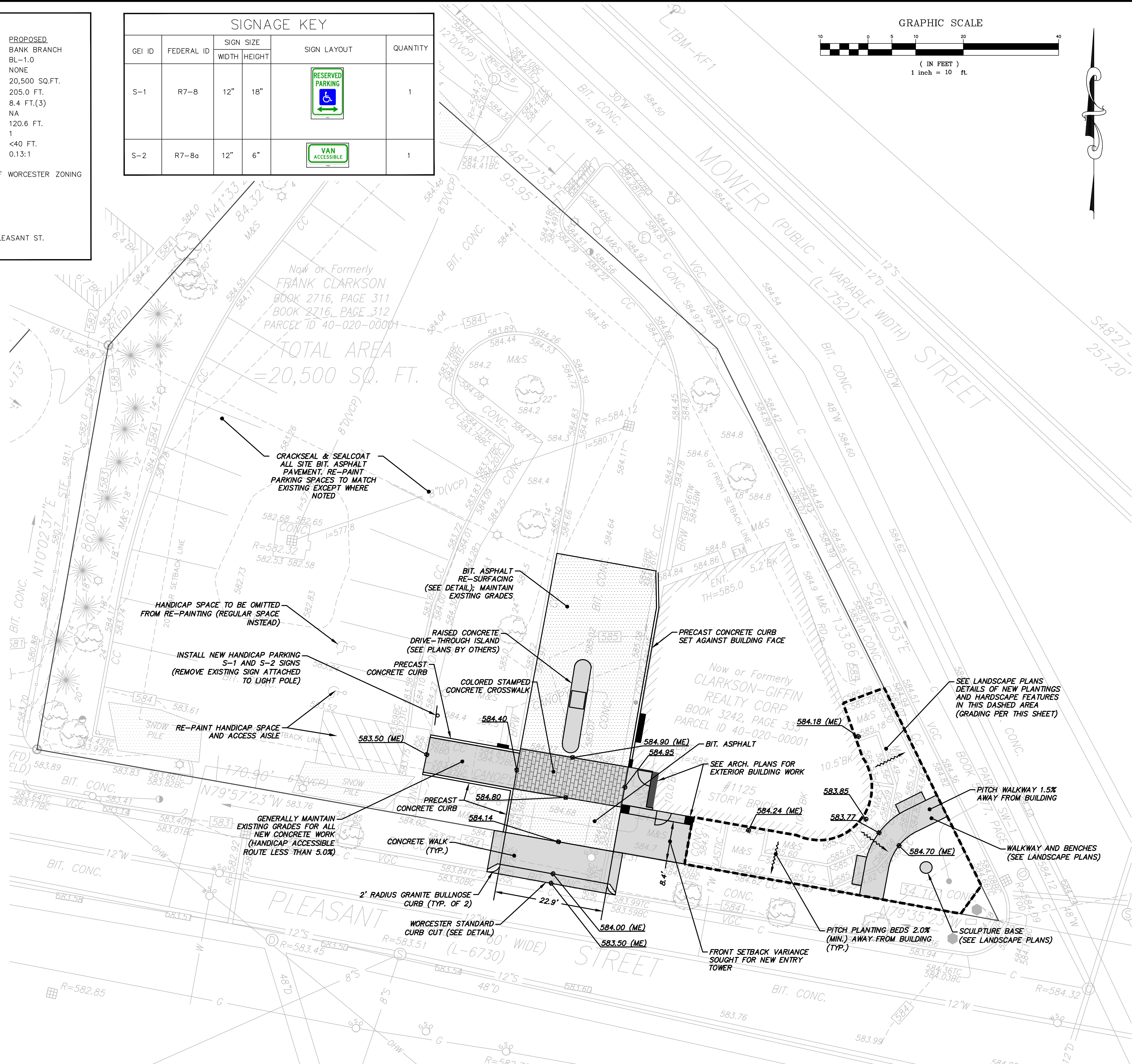
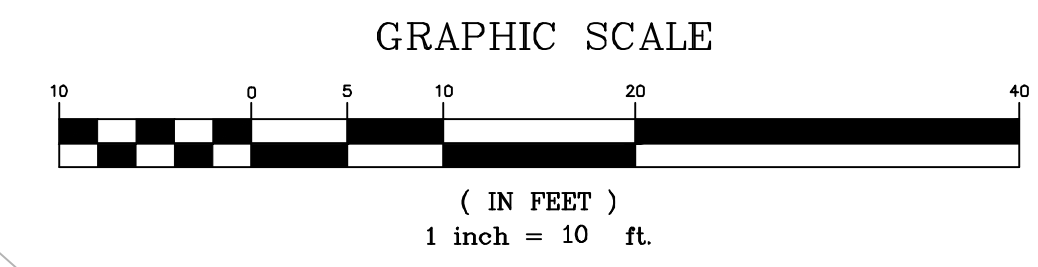
FLOODPLAIN NOTES

A DETAILED ANALYSIS OF THE PROPOSED WORK WITHIN THE BORDERING LAND SUBJECT TO FLOODING RESOURCE AREA (SPECIAL FLOOD HAZARD AREA ALSO KNOWN AS THE 100-YEAR FLOODPLAIN), ELEVATION=587.00, HAS BEEN CONDUCTED SUCH THAT INCREMENTAL FILL HAS BEEN CALCULATED AND OFFSETTING COMPENSATORY STORAGE HAS BEEN PROVIDED AT EACH ELEVATION INCREMENT IN COMPLIANCE WITH 310 CMR 10.57(4)(g). SAID CALCULATIONS INCLUDE ALL PROPOSED GRADING AND EXTERIOR IMPROVEMENTS INCLUDING PAVEMENT, CURB, WALKWAYS, CONCRETE PADS, LANDSCAPING, ETC. A SUMMARY OF THE PROPOSED INCREMENTAL FLOODPLAIN FILL AND COMPENSATORY STORAGE IS PROVIDED IN THE TABLE BELOW.

Floodplain Elevation=587.00						
Elevation	Fill		Cut		Incremental Volume, (Cu. Ft.)	Incremental Volume, (Cu. Ft.)
	Area (Sq. Ft.)	Delta (Ft.)	Area (Sq. Ft.)	Delta (Ft.)		
583	0	1	0	0	0	0
584	23.7	1	670	1	23.1	443.5
585	22.5	1	217	1	22.5	126
586	22.5	1	35	1	11.25	17.5
587	0	1	0	1	0	0
Total		4		4	56.85	587

SIGNAGE KEY

GEI ID	FEDERAL ID	SIGN SIZE		SIGN LAYOUT	QUANTITY
		WIDTH	HEIGHT		
S-1	R7-8	12"	18"		1
S-2	R7-8a	12"	6"		1



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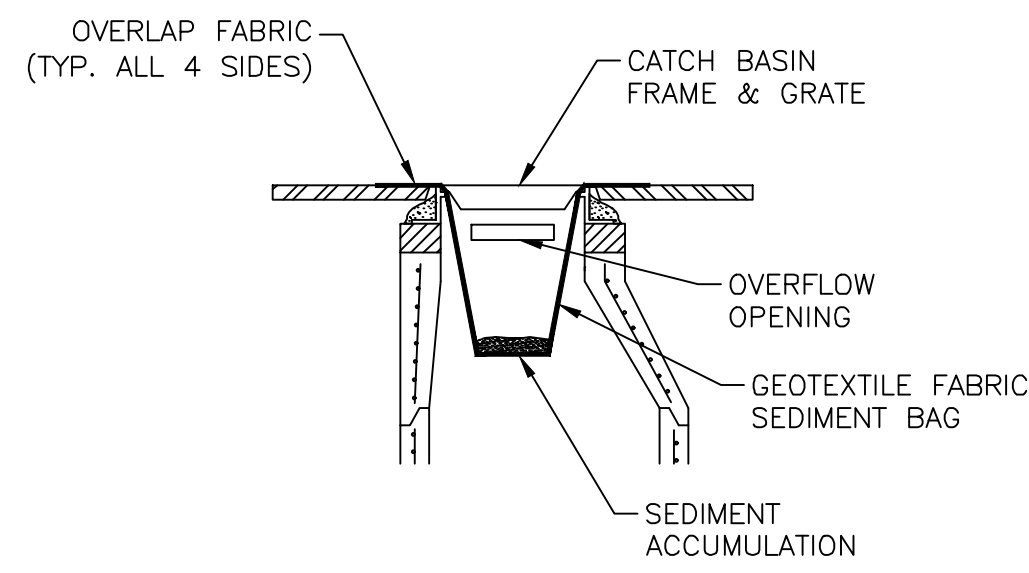
SITE PLAN
CORNERSTONE BANK - SITE IMPROVEMENTS
 1125 PLEASANT STREET, WORCESTER, MA 01602

PREPARED FOR: F.W. MADIGAN
 367 CHANDLER STREET, WORCESTER, MA 01602

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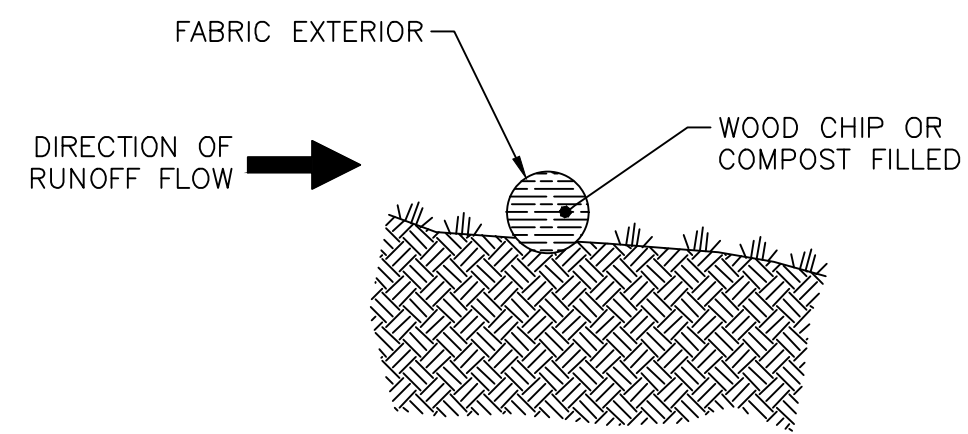
DES. BY: MRA
 CHK. BY: MRA
 DRW. BY: MRA
 PRJ. NO.: 24105

C102



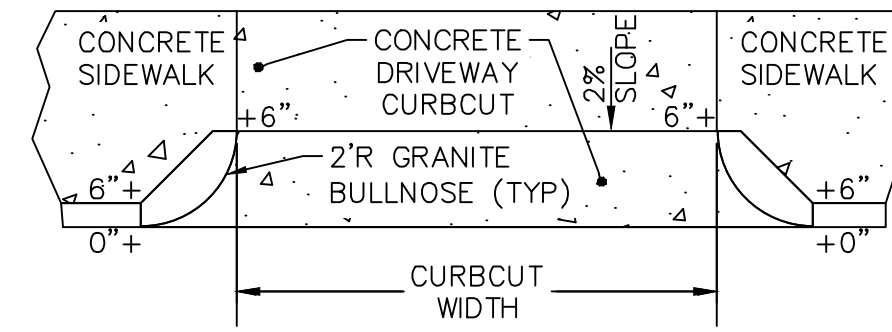
CATCH BASIN SEDIMENT BAG NTS

- NOTES:
- 1) SEDIMENT BAG SHALL BE SILTSACK BY ACF ENVIRONMENTAL, OR APPROVED EQUAL.
 - 2) OIL ABSORPTION MEDIUM MAY ALSO BE PLACED IN BAG (OPTIONAL).
 - 3) INSTALL AND MAINTAIN PER MANUFACTURER'S INSTRUCTIONS.



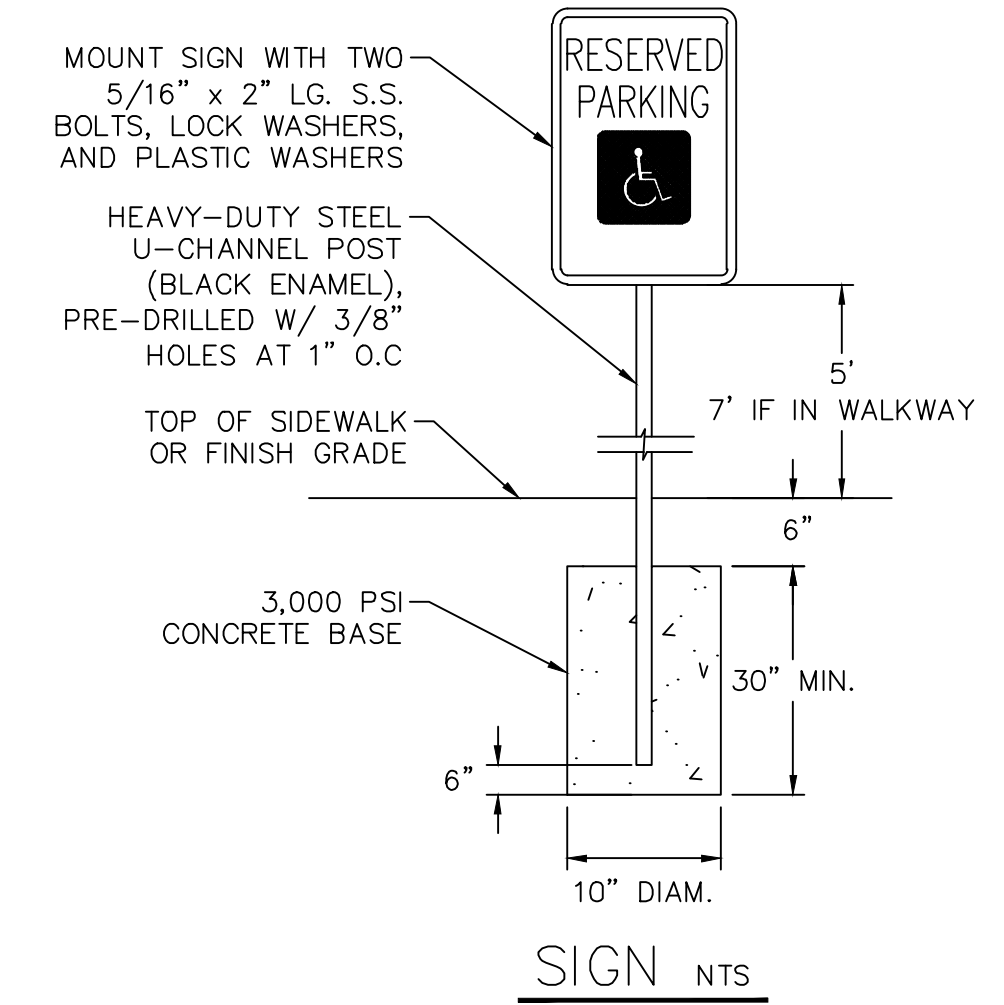
COMPOST FILTER SOCK NTS

- NOTE:
- 1) PROVIDE A 3' TO 6' LEVEL AREA BETWEEN THE SILT SOCK AND THE TOE OF ANY SLOPE TO PROVIDE AREA FOR SEDIMENT ACCUMULATION.

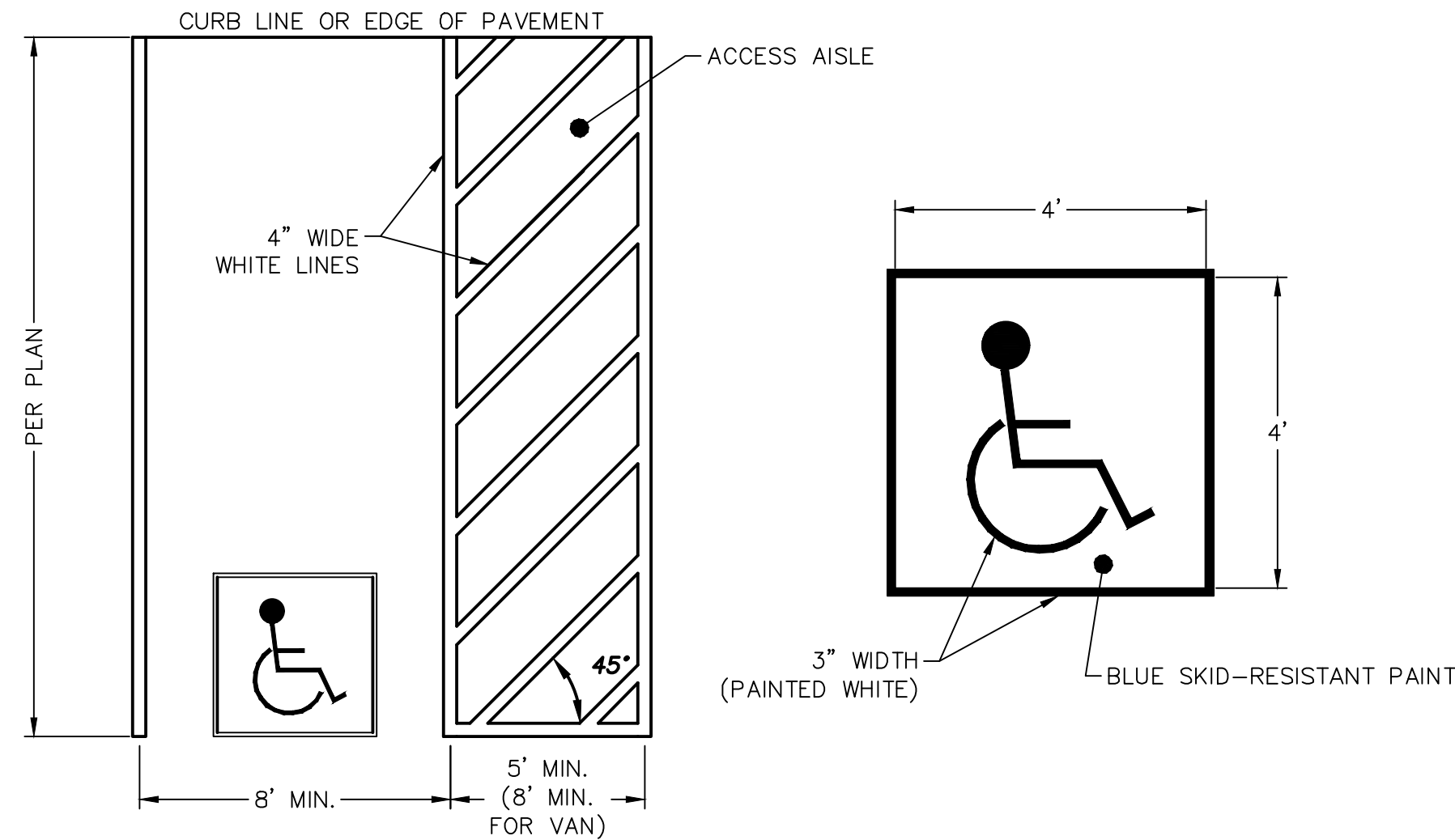


WORCESTER STANDARD CURB CUT NTS

- NOTES:
- 1) CONCRETE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CONCRETE WALK DETAIL ON THESE PLANS (6" THICKNESS ACROSS CURB CUTS).

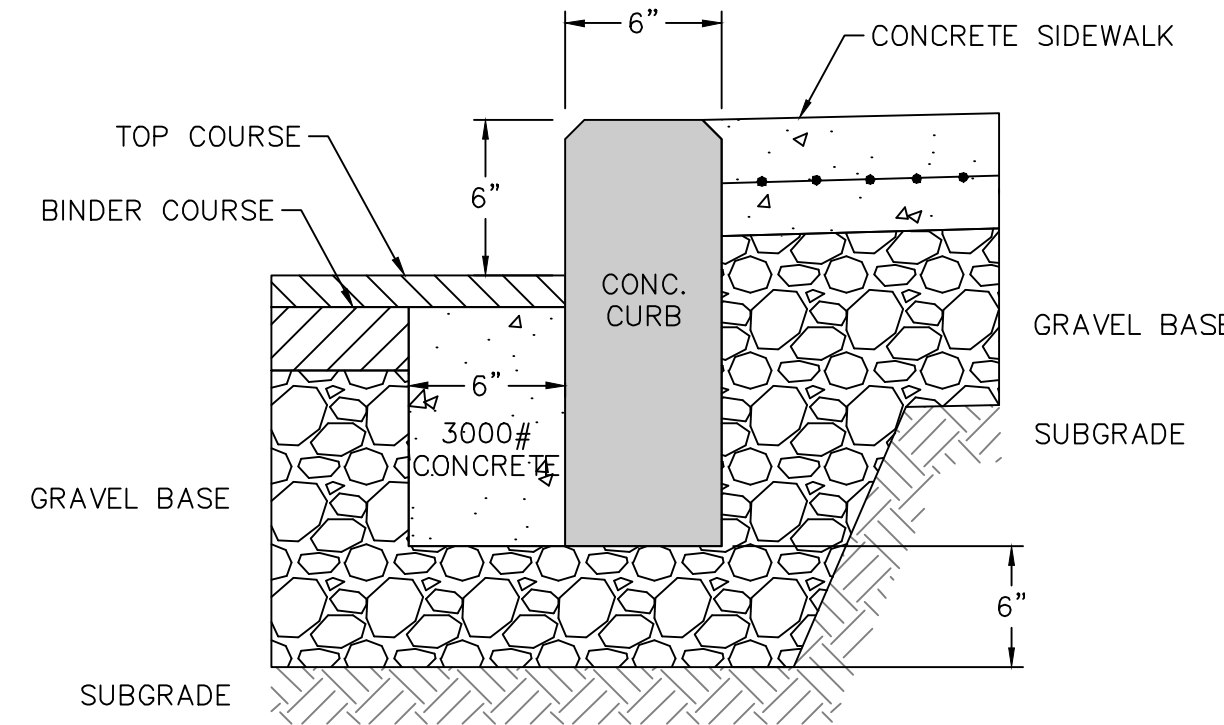


- NOTE:
- 1) THIS DETAIL APPLIES TO THE CONSTRUCTION OF ALL PROPOSED SIGNS; (SIGN TYPE AND DIMENSIONS MAY VARY FROM THOSE SHOWN). HANDICAP VAN ACCESSIBLE PLACARD SHALL BE MOUNTED DIRECTLY BELOW PRIMARY SIGN.

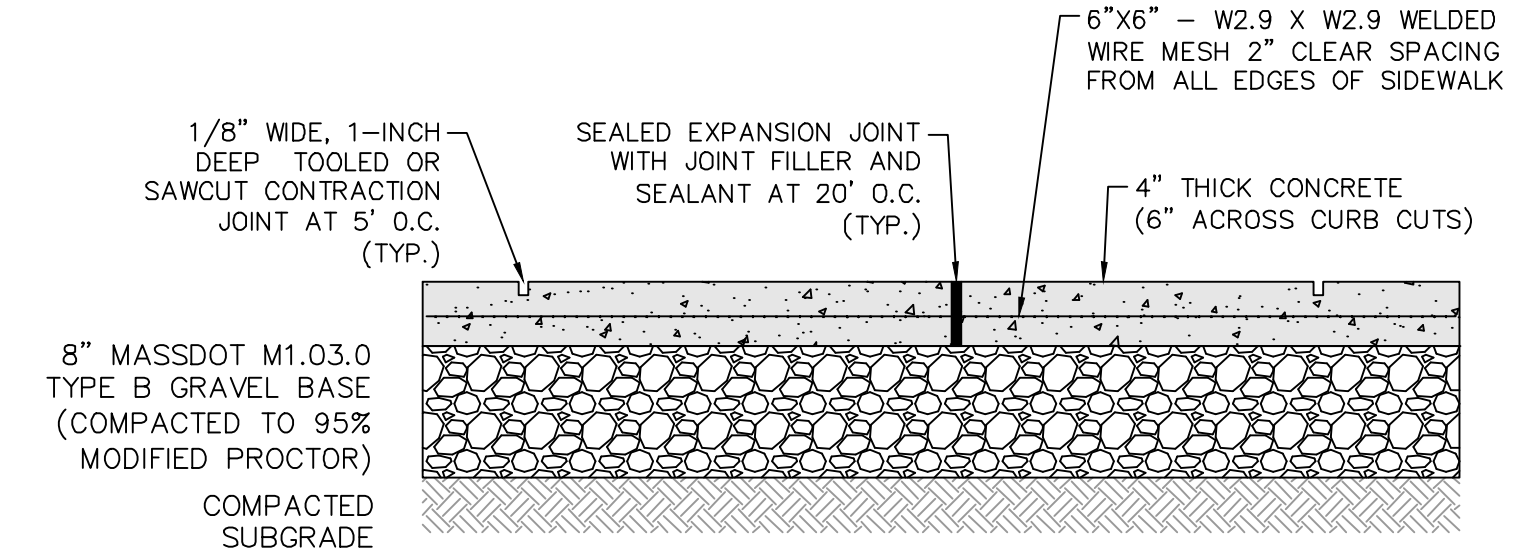


HANDICAP PARKING SPACE NTS

- NOTE:
- 1) PAVEMENT MARKINGS SHALL BE PAINTED WITH WHITE TRAFFIC PAINT CONFORMING TO SECTION M7.01.08 OF THE MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION. LINE WIDTH SHALL BE 4 INCHES. HANDICAP SYMBOL MARKINGS SHALL COMPLY WITH 521 CMR WITH WHITE SYMBOL ON BLUE BACKGROUND.

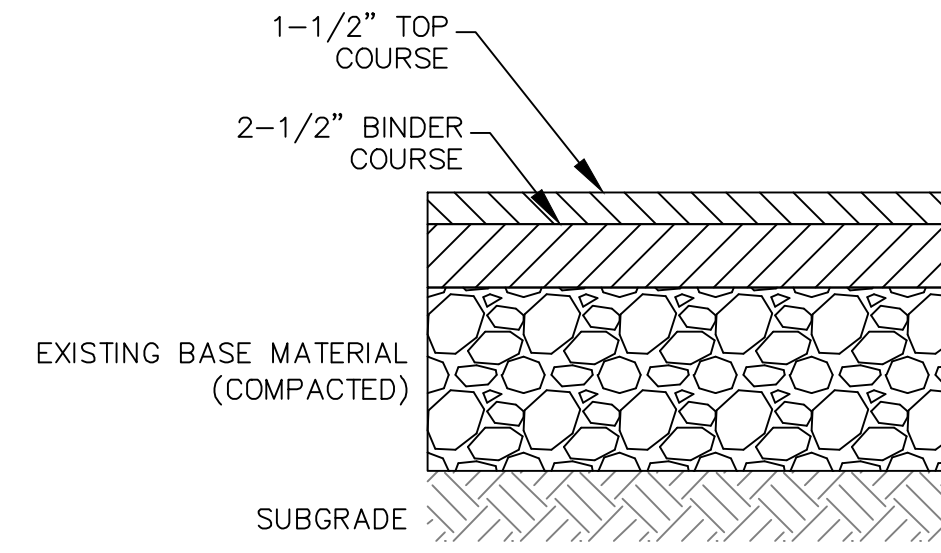


PRECAST CONCRETE CURB W/ CONCRETE SIDEWALK NTS



CONCRETE SIDEWALK NTS

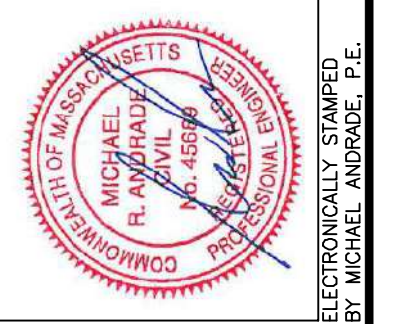
- NOTES:
- 1) CONCRETE MIX DESIGN SHALL BE FOR EXTERIOR USE; AIR-ENTRAINED, 4,000 PSI MIN. (28-DAY), 3/4" AGGREGATE.
 - 2) WHEN THE WALKWAY ABUTS A STRUCTURE OR EXISTING HARD SURFACE (CONCRETE, ETC.), INSTALL AN EXPANSION JOINT ACROSS THE ENTIRETY OF THE ABUTTING FACE WITH PREFORMED FIBER JOINT FILLER AND FILL WITH 1" DEEP OF POLYURETHANE JOINT SEALANT.
 - 3) WALKWAYS SHALL HAVE A LIGHT BROOM FINISH PERPENDICULAR TO THE DIRECTION OF FOOT TRAFFIC. THERE SHALL BE NO SMOOTHED TOOL JOINTS; BROOM FINISH SHALL EXTEND TO THE EDGES OF THE PAD AND ACROSS ANY JOINTS.
 - 4) COLORED AND STAMPED CONCRETE FOR CROSSWALKS: COLOR SHALL BE BRICK RED AND STAMP PATTERN SHALL BE BRICK (CONTRACTOR TO SUBMIT COLOR AND PATTERN SAMPLES TO OWNER PRIOR TO INSTALLATION FOR APPROVAL).



PAVEMENT SECTION NTS

- NOTES:
- 1) TAMP ALL ASPHALT EDGES THAT ABUT LAWN, LANDSCAPED OR OTHER SOFT SURFACE.
 - 2) **BINDER COURSE:** - MASSDOT M3.11.03, TABLE A, "HMA INTERMEDIATE COURSE DENSE BINDER" OR SUPERPAVE INTERMEDIATE COURSE - 19.0MM (MIXTURE DESIGNATION SIC - 19.0).
 - 3) **TOP COURSE:** - MASSDOT M3.11.03, TABLE A, "SURFACE COURSE STANDARD TOP" OR SUPERPAVE SURFACE COURSE - 12.5MM (MIXTURE DESIGNATION SSC - 12.5).

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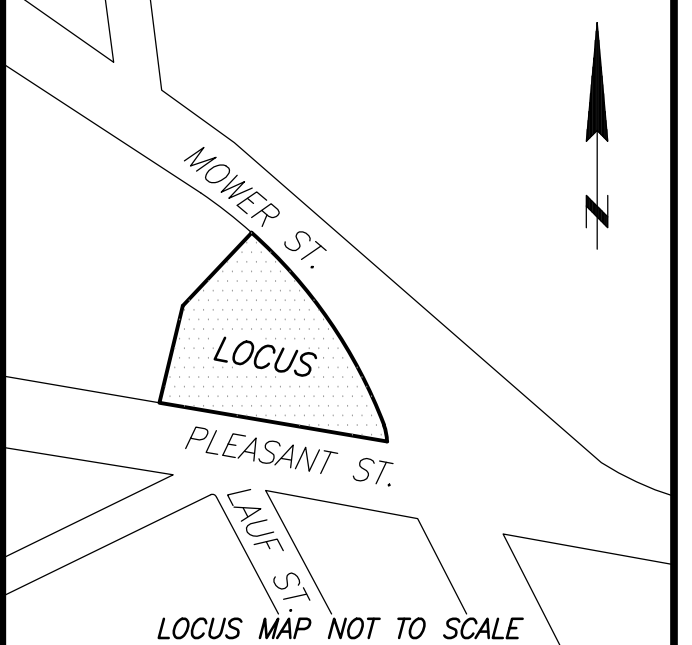


SITE DETAILS	
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PREPARED FOR:	F.W. MADIGAN
DATE:	05/20/24
DES. BY:	MRA
DRW. BY:	MRA
CHK. BY:	MRA
PRJ. NO.:	24105
SCALE:	1"=10'

BOSTON HEADQUARTERS
152 HAMPDEN STREET
BOSTON, MA 02119

WORCESTER OFFICE
27 MECHANIC STREET
WORCESTER, MA 01608

(617)357-9740
www.feldmangeo.com



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

Joseph R. Zambuto
JOSEPH R. ZAMBUTO, PLS DATE MAY 7, 2024
(MA# 52783)
JZAMBUTO@FELDMANGEO.COM

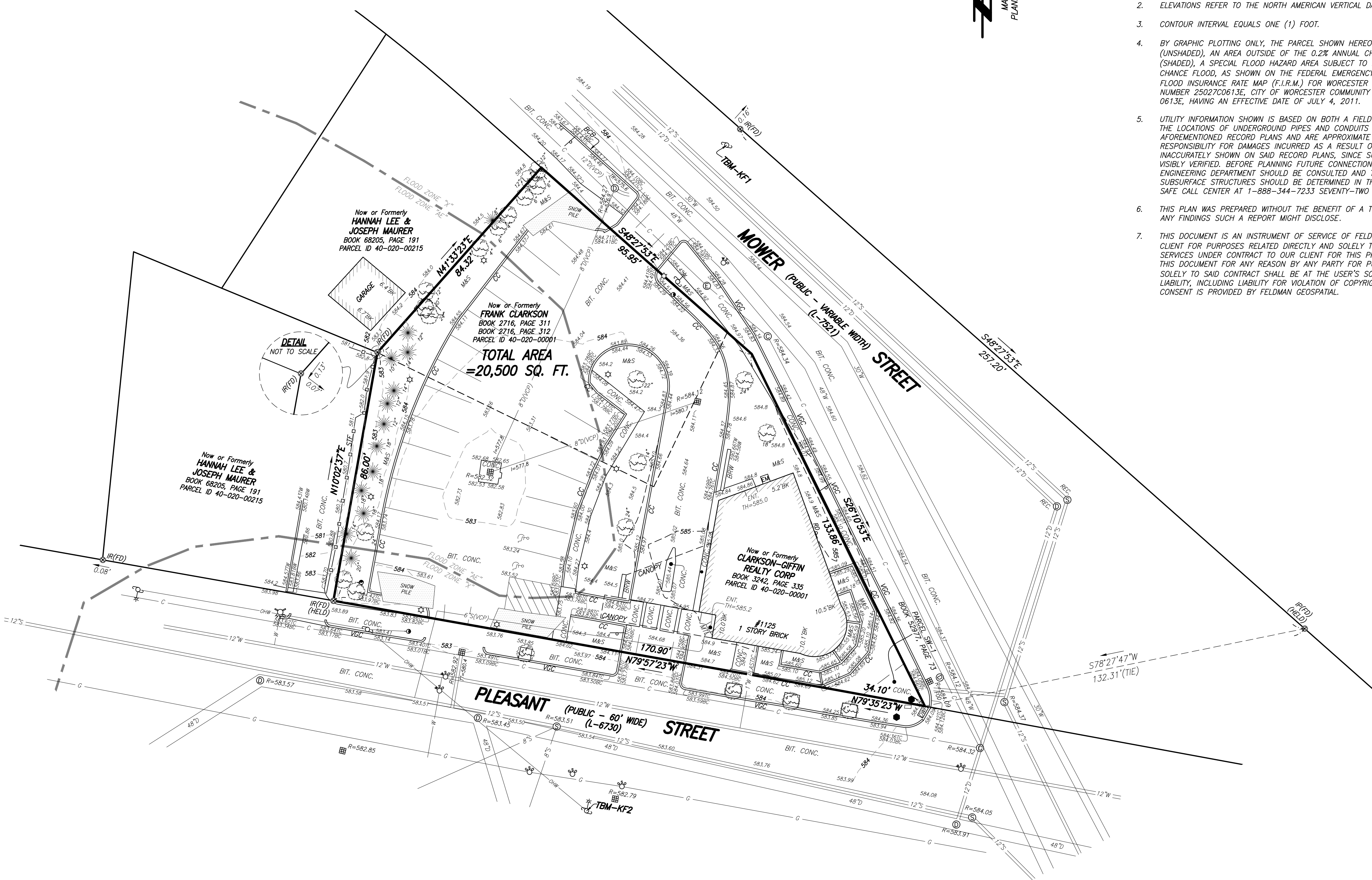
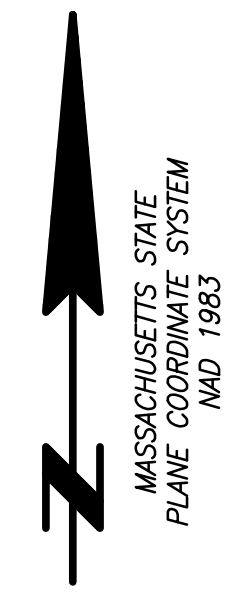


DRAWING NAME:
**EXISTING CONDITIONS
PLAN OF LAND**
1125 PLEASANT STREET
WORCESTER, MASS.

DATE:	FEBRUARY 8, 2024
REVISIONS:	
FILENAME:	2400051-EC.dwg
RESEARCH:	TRA FIELD CHIEF: KF
PROJ MGR:	JRZ APPROVED:
CALC:	TGS CADD: TGS
FIELD CHK:	CRD FILE: 2400051-EC
<p>SCALE: 1"=20'</p>	
SHEET NO. 1 OF 1	

NOTES:

- BENCH MARK INFORMATION:
BENCH MARK USED:
ELEVATIONS WERE OBTAINED BY GPS OBSERVATIONS ON JANUARY 30, 2024.
TEMPORARY BENCH MARKS SET:
TBM-KF1: SURVEY SPIKE SET IN UTILITY POLE #3 ON THE NORTHERLY SIDE OF MOWER STREET, AS SHOWN HEREON. ELEVATION = 586.88
TBM-KF2: SURVEY SPIKE SET IN UTILITY POLE AT THE INTERSECTION OF PLEASANT STREET AND LAIF STREET, AS SHOWN HEREON. ELEVATION = 585.61
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AND A ZONE "AE" (SHADED), A SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR WORCESTER COUNTY, MASSACHUSETTS, MAP NUMBER 2502700613E, CITY OF WORCESTER COMMUNITY NUMBER 250313, PANEL NUMBER 0613E, HAVING AN EFFECTIVE DATE OF JULY 4, 2011.
- UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFORESAID RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INADEQUATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY FINDINGS SUCH A REPORT MIGHT DISCLOSE.
- THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

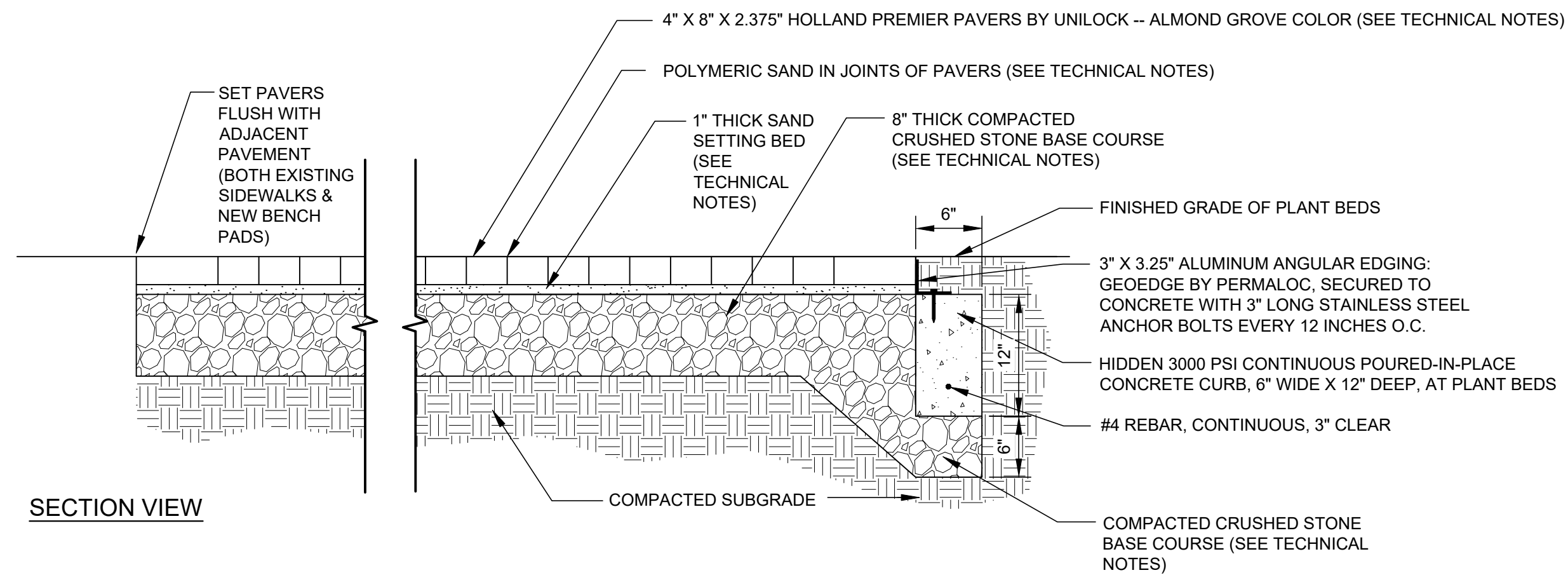
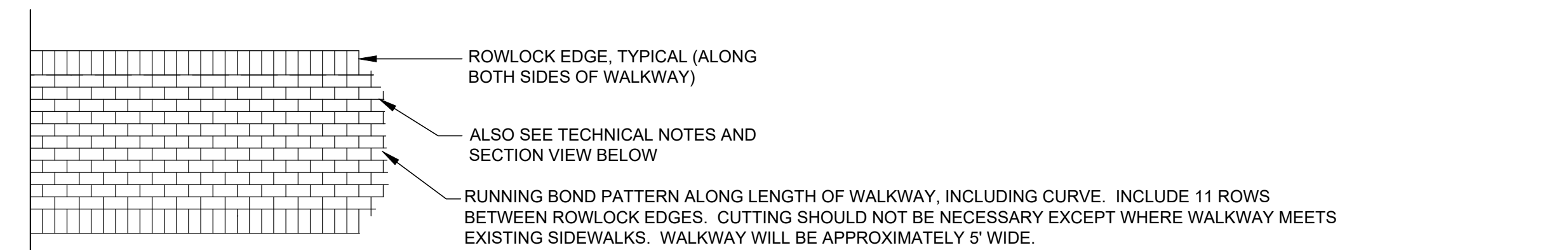
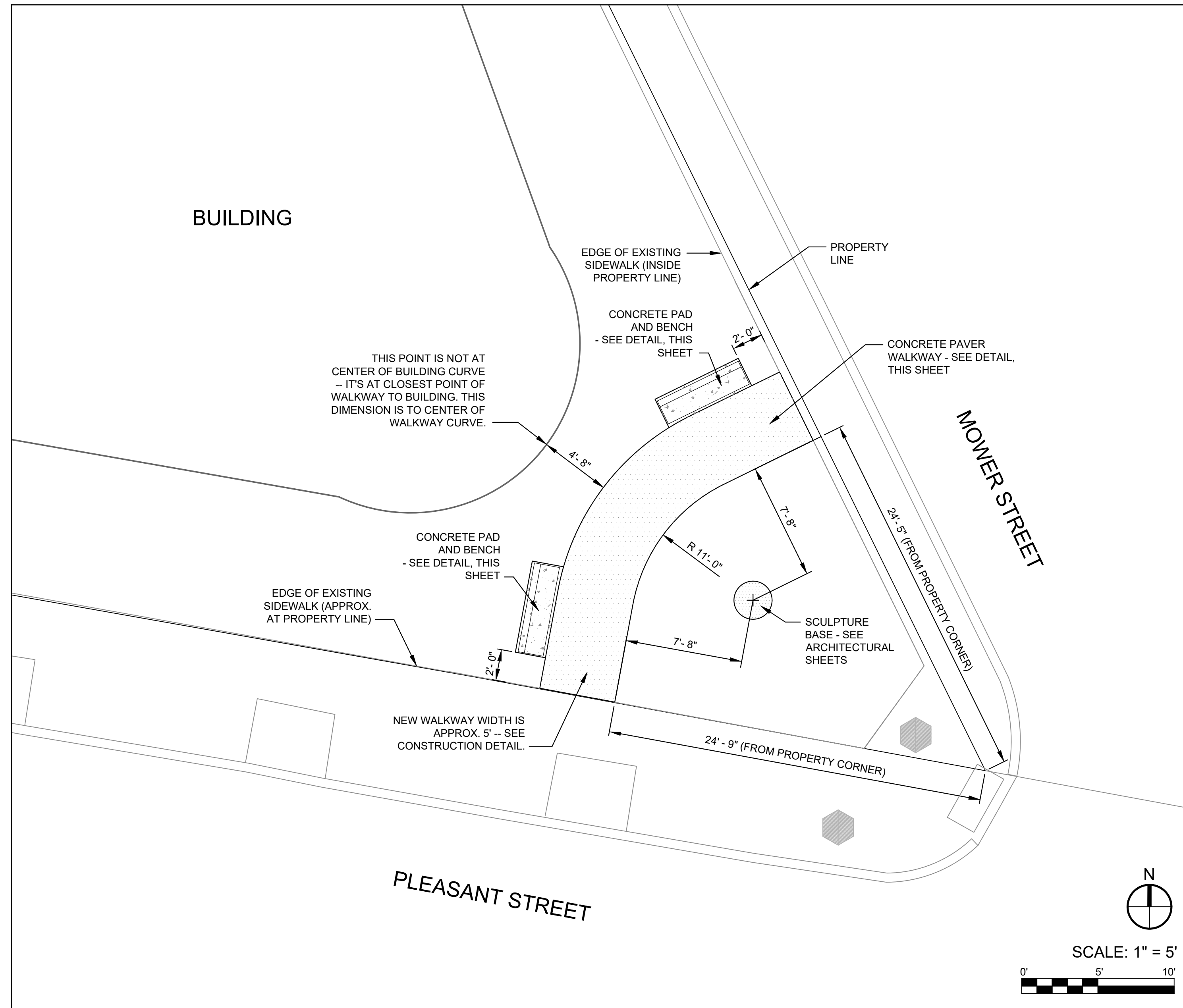


- LEGEND**
- ⊙ SEWER MANHOLE
 - ⊙ DRAIN MANHOLE
 - ⊙ ELECTRIC MANHOLE
 - ⊙ COMMUNICATIONS MANHOLE
 - ⊙ HYDRANT
 - ⊙ WATER SHUT OFF/WATER GATE
 - ⊙ GAS SHUT OFF/GAS GATE
 - ⊙ CATCH BASIN
 - ⊙ GUY WIRE
 - ⊙ TRAFFIC SIGNAL
 - ⊙ UTILITY POLE
 - ⊙ LIGHT POLE
 - ⊙ BOLLARD
 - ⊙ SIGN
 - ⊙ ROOF DRAIN
 - ⊙ IRON PIPE
 - ⊙ UTILITY POLE W/ LIGHT
 - ⊙ ELECTRIC METER
 - ⊙ HANDICAPPED PARKING SPACE
 - ⊙ INDICATES COMMON OWNERSHIP
 - ⊙ DECIDUOUS TREE
 - ⊙ CONIFEROUS TREE
 - BC BOTTOM OF CURB
 - BCB BIT. CONC. BERM
 - BIT. BITUMINOUS
 - BK BACK
 - BRW BRICK RETAINING WALL
 - BS BOTTOM OF STEPS
 - BW BOTTOM OF WALL
 - CC CONCRETE CURB
 - CLF CHAIN LINK FENCE
 - CONC. CONCRETE
 - CRW CONCRETE RETAINING WALL
 - DH DRILL HOLE
 - DWP DETECTIBLE WARNING PANEL
 - ENT ENTRANCE
 - FD FOUND
 - FOD FULL OF DEBRIS
 - I= INVERT ELEVATION
 - INACC. INACCESSIBLE
 - IP IRON PIPE
 - IR IRON ROD
 - MTL METAL
 - M&S MULCH & SHRUBS
 - NTS NOT TO SCALE
 - NVP NO VISIBLE PIPES
 - R= RIM ELEVATION
 - (REC) RECORD
 - SQ. FT. SQUARE FEET
 - STF STOCKADE FENCE
 - TBM TEMPORARY BENCH MARK
 - TC TOP OF CURB
 - TH THRESHOLD
 - TOD TOP OF DEBRIS
 - TR= CENTERLINE OF TROUGH
 - TT= TOP OF TRAP
 - TW TOP OF WALL
 - TYP. TYPICAL
 - VGC VERTICAL GRANITE CURB
 - C COMMUNICATIONS SERVICE
 - D DRAIN
 - E ELECTRIC
 - G GAS
 - OHW OVERHEAD WIRES
 - S SEWER
 - W WATER
 - 12"D(C) PIPE SIZE AND MATERIAL
 - VCP VITRIFIED CLAY PIPE
 - X METAL FENCE
 - WOOD FENCE

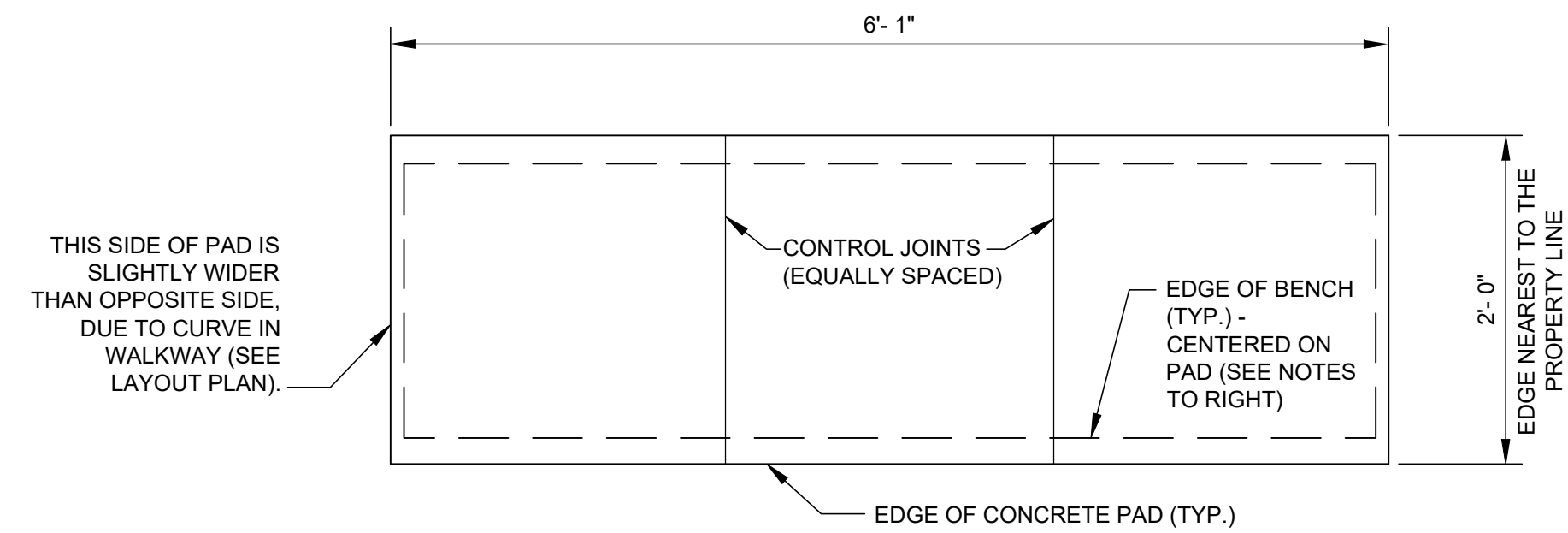
REFERENCES

- WORCESTER COUNTY REGISTRY OF DEEDS
 PLAN IN BOOK 48, PAGE 21
 PLAN IN BOOK 101, PAGE 37
 PLAN IN BOOK 174, PAGE 50
 PLAN IN BOOK 910, PAGE 33
 CITY OF WORCESTER ENGINEERING DEPARTMENT
 STREET LAYOUT PLAN 6730
 STREET LAYOUT PLAN 7521

FILENAME: S:\PROJECTS\2024\2400051-EC.dwg



CONCRETE PAVER WALKWAY NOT TO SCALE



NOTES:

- BENCHES SHALL BE # 520-60PL (6' STEEL BENCH WITH RECYCLED PLASTIC LUMBER SEAT & BACKREST), WITH ARMRESTS AT EACH END, BY DUMOR. METAL COLOR SHALL BE "TEXTURED RUST" AND LUMBER COLOR SHALL BE "REDWOOD". LOCAL REP FOR DUMOR IS O'BRIEN & SONS, # 800-835-0056
- SECURE BENCH TO PAD WITH GALVANIZED STEEL HARDWARE, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- CONCRETE PAD SHALL BE 4" THICK. SEE CIVIL SHEETS FOR CONCRETE DETAIL.

NOT TO SCALE

TECHNICAL NOTES FOR CONCRETE UNIT PAVING

- SOME OF THE PRODUCTS AND EXECUTION METHODS ARE SPECIFIED IN THIS SECTION BY REFERENCE TO PUBLISHED SPECIFICATIONS OR STANDARDS OF THE FOLLOWING, WITH RESPECTIVE ABBREVIATIONS USED:
 - A) AASHTO: AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS
 - B) ASTM: AMERICAN SOCIETY FOR TESTING AND MATERIALS
 - C) MA DOT: MASSACHUSETTS DEPARTMENT OF TRANSPORTATION
- REQUIRED INSTALLER QUALIFICATIONS: AN EXPERIENCED INSTALLER WHO HAS COMPLETED UNIT PAVER INSTALLATIONS SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT, AND WHOSE WORK HAS RESULTED IN CONSTRUCTION WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.
- THE CONTRACTOR SHALL PROTECT PAVERS, SAND, AND AGGREGATE DURING STORAGE AND CONSTRUCTION AGAINST SOILING OR CONTAMINATION FROM EARTH AND OTHER MATERIALS. PAVERS SHALL BE COVERED WITH PLASTIC OR OTHER PACKAGING MATERIALS THAT WILL PREVENT RUST MARKS FROM STEEL STRAPPING, WHEN PRESENT. THE CONTRACTOR SHALL STORE CEMENTITIOUS MATERIALS ON ELEVATED PLATFORMS, UNDER COVER, AND IN A DRY LOCATION.
- THE CONTRACTOR SHALL NOT USE FROZEN MATERIALS OR MATERIALS MIXED OR COATED WITH ICE OR FROST. THEY SHALL NOT BUILD ON FROZEN SUBGRADE OR SETTING BEDS, AND SHALL REMOVE AND REPLACE UNIT PAVER WORK DAMAGED BY FROST OR FREEZING.
- CONCRETE PAVERS SHALL BE 4" X 8" X 2.375" HOLLAND PREMIER, ALMOND GROVE COLOR, BY UNILOCK, PHONE # (508) 278-4536, WWW.UNILOCK.COM
- ALUMINUM EDGE RESTRAINTS SHALL BE GEOEDGE BY PERMALOC, PHONE # (800) 356-9660, WWW.PERMALOC.COM. ANCHOR BOLTS SHALL BE 3" LONG STAINLESS STEEL.
- SAND FOR LEVELING COURSE SHALL BE WASHED CONCRETE SAND, FREE OF SOIL AND OTHER FOREIGN DEBRIS.
- POLYMERIC SAND FOR JOINTS SHALL CONSIST OF CLEAR POLYMERS, AND SHALL NOT CONTAIN ANY PORTLAND CEMENT.
- AGGREGATE BASE COURSE SHALL BE 3/4" CRUSHED STONE AND SHALL MEET THE REQUIREMENTS OF MA DOT SPECIFICATION SECTION M2.01.4 OF DIVISION 3 -- MATERIALS.
- THE CONTRACTOR SHALL NOT USE ANY PAVERS THAT HAVE CHIPS, CRACKS, VOIDS, DISCOLORATIONS, AND OTHER DEFECTS THAT MIGHT BE VISIBLE OR CAUSE STAINING IN FINISHED WORK.
- WHEN CUTTING IS NECESSARY, THE CONTRACTOR SHALL CUT PAVERS WITH MOTOR-DRIVEN MASONRY SAW EQUIPMENT TO PROVIDE CLEAN, SHARP, UN-CHIPPED EDGES. THEY SHALL CUT UNITS TO PROVIDE PATTERN INDICATED AND TO FIT ADJOINING WORK NEATLY. THE CONTRACTOR SHALL USE FULL UNITS WITHOUT CUTTING WHERE POSSIBLE. HAMMER CUTTING IS NOT ACCEPTABLE.
- PAVER PATTERNS SHALL BE AS INDICATED ON THE PLANS AND IN THE CONSTRUCTION DETAILS.
- TOLERANCES: THE CONTRACTOR SHALL NOT EXCEED 1/32-INCH UNIT-TO-UNIT OFFSET FROM FLUSH (LIPPAGE) NOR 1/8-INCH IN 10 FEET FROM INDICATED SLOPE, FOR FINISHED SURFACE OF PAVEMENT.

14) INSTALLATION PROCESS:

- COMPACT SOIL SUBGRADE UNIFORMLY TO 95 PERCENT OF ASTM D 1557 LABORATORY DENSITY.
- PLACE CRUSHED STONE BASE COURSE OVER COMPACTED SUBGRADE. PROVIDE COMPACTED THICKNESS INDICATED ON THE CONSTRUCTION DETAILS. COMPACT BASE COURSE TO 100 PERCENT OF ASTM D 1557 MAXIMUM LABORATORY DENSITY AND SCREED TO DEPTH REQUIRED TO ALLOW SETTING OF PAVERS.
- INSTALL HIDDEN CONCRETE CURBING, AFTER LAYING A MOCK-UP OF PAVERS TO DETERMINE EXACT WIDTH OF WALKWAY (AS NOTED IN THE CONSTRUCTION DETAIL, AVOIDING PAVER CUTTING ALONG THE LENGTH OF THE WALK).
- PLACE LEVELING COURSE OF SAND OVER AGGREGATE BASE COURSE AND SCREED TO THICKNESS INDICATED ON THE DRAWINGS, TAKING CARE THAT MOISTURE CONTENT REMAINS CONSTANT AND DENSITY IS LOOSE AND CONSTANT UNTIL PAVERS ARE SET AND COMPACTED.
- SET PAVERS HAND-TIGHT AGAINST SPACER LUGS, BEING CAREFUL NOT TO DISTURB LEVELING COURSE. USE STRING LINES TO KEEP STRAIGHT LINES.
- VIBRATE PAVERS INTO LEVELING COURSE WITH A LOW-AMPLITUDE PLATE VIBRATOR CAPABLE OF A 3500- TO 5000-LBF (16- TO 22-KN) COMPACTION FORCE AT 80 TO 90 HZ. PERFORM AT LEAST THREE PASSES ACROSS PAVING SURFACE WITH VIBRATOR. VIBRATE UNDER THE FOLLOWING CONDITIONS:
 - AFTER EDGE PAVERS ARE INSTALLED AND THERE IS A COMPLETED SURFACE OR BEFORE SURFACE IS EXPOSED TO RAIN
 - BEFORE ENDING EACH DAY'S WORK, FULLY-COMPACT INSTALLED PAVERS TO WITHIN 3/8 INCHES OF THE LAYING FACE. COVER OPEN LAYERS WITH NON-STAINING PLASTIC SHEETS OVERLAPPED 48 INCHES ON EACH SIDE OF THE LAYING FACE TO PROTECT IT FROM RAIN.
- SPREAD DRY POLYMERIC SAND AND FILL JOINTS IMMEDIATELY AFTER VIBRATING PAVERS INTO LEVELING COURSE. POLYMERIC SAND SHALL ONLY BE INSTALLED WHEN PAVERS ARE COMPLETELY DRY, AND NO PRECIPITATION IS IN THE FORECAST FOR AT LEAST 48 HOURS. VIBRATE PAVERS AND THEN ADD THE POLYMERIC SAND UNTIL JOINTS ARE COMPLETELY FILLED TO THE BASE OF THE BEVELED EDGES. REMOVE ALL EXCESS POLYMERIC SAND FROM SURFACE OF PAVERS PRIOR TO WETTING THE JOINTS. THEN LIGHTLY MOISTEN JOINTS UNTIL THEY WILL NOT ACCEPT ANY MORE WATER, TO ENSURE THAT THE ENTIRE DEPTH OF THE JOINT IS MOISTENED, WHILE TAKING CARE NOT TO LET SAND WASH OUT OF THE JOINTS DURING THIS PROCESS. DO NOT ALLOW ANY TRAFFIC (PEDESTRIAN OR VEHICULAR) ONTO THE PAVER SURFACE FOR AT LEAST 24 HOURS AFTER JOINTS HAVE BEEN WATERED. IF UNEXPECTED PRECIPITATION HAPPENS DURING THIS PERIOD, COVER PAVER SURFACE WITH NON-STAINING PLASTIC SHEETS AS NOTED IN F2 ABOVE.
- REPAIR AND PROTECTION: THE CONTRACTOR SHALL REMOVE AND REPLACE PAVERS THAT ARE LOOSE, CHIPPED, BROKEN, STAINED, OR OTHERWISE DAMAGED, OR THAT DO NOT MATCH ADJOINING UNITS AS INTENDED, AND THOSE WHOSE SURFACES HAVE BEEN STAINED WITH POLYMERIC SAND. THE CONTRACTOR SHALL REPLACE THESE PAVERS TO MATCH ADJOINING PAVERS, AND INSTALL IN SAME MANNER AS ORIGINAL PAVERS, WITH SAME JOINT TREATMENT AND WITH NO EVIDENCE OF REPLACEMENT.

PROJECT:
1125 PLEASANT ST.
WORCESTER, MA

CLIENT:
CORNERSTONE
BANK

DATE: 5-14-24

REVISIONS:

NO.	DATE	DESCRIPTION

SCALE: VARIES

FRONT GARDEN
LAYOUT / MATERIALS PLAN,
DETAILS, & TECHNICAL
NOTES

SHEET L101

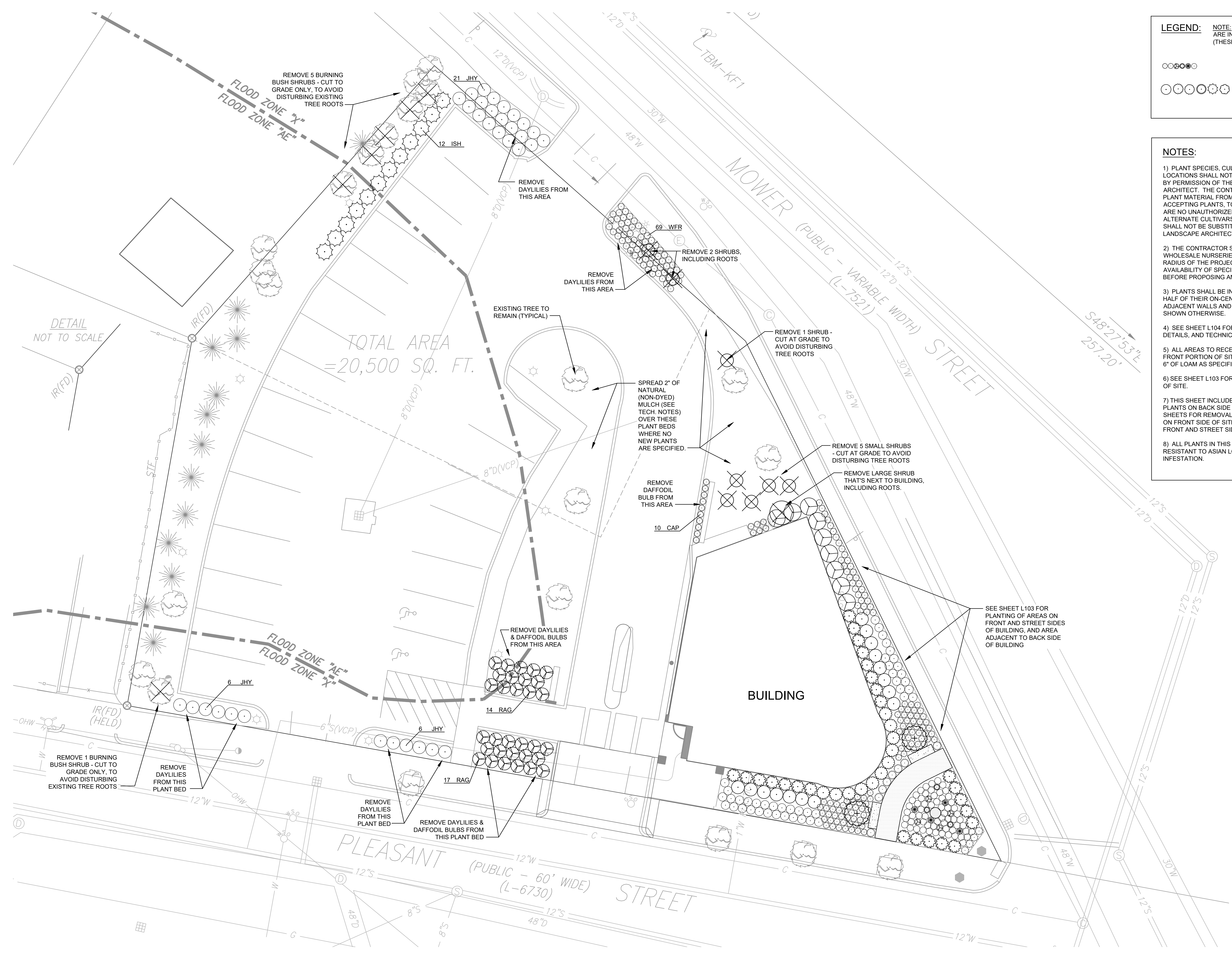


LEGEND: NOTE: NOT ALL SYMBOLS USED ARE INCLUDED IN THIS LEGEND. (THESE ARE JUST EXAMPLES.)

- PROPOSED PERENNIALS & GROUNDCOVERS
- PROPOSED SHRUBS

NOTES:

- 1) PLANT SPECIES, CULTIVARS, AND LOCATIONS SHALL NOT BE CHANGED EXCEPT BY PERMISSION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL CHECK PLANT MATERIAL FROM NURSERIES BEFORE ACCEPTING PLANTS. TO MAKE SURE THERE ARE NO UNAUTHORIZED SUBSTITUTIONS. ALTERNATE CULTIVARS OF THE SAME SPECIES SHALL NOT BE SUBSTITUTED WITHOUT LANDSCAPE ARCHITECT'S APPROVAL.
- 2) THE CONTRACTOR SHALL CHECK WITH ALL WHOLESALE NURSERIES WITHIN 100 MILE RADIUS OF THE PROJECT SITE FOR AVAILABILITY OF SPECIFIED PLANT MATERIALS, BEFORE PROPOSING ANY SUBSTITUTES.
- 3) PLANTS SHALL BE INSTALLED AT LEAST HALF OF THEIR ON-CENTER SPACING FROM ADJACENT WALLS AND PAVEMENT, UNLESS SHOWN OTHERWISE.
- 4) SEE SHEET L104 FOR PLANT SCHEDULE, DETAILS, AND TECHNICAL NOTES.
- 5) ALL AREAS TO RECEIVE PLANTINGS IN FRONT PORTION OF SITE SHALL FIRST RECEIVE 6" OF LOAM AS SPECIFIED ON SHEET L104.
- 6) SEE SHEET L103 FOR PLANTING FRONT SIDE OF SITE.
- 7) THIS SHEET INCLUDES REMOVAL OF NOTED PLANTS ON BACK SIDE OF SITE. SEE CIVIL SHEETS FOR REMOVAL OF EXISTING PLANTS ON FRONT SIDE OF SITE (AREAS ADJACENT TO FRONT AND STREET SIDES OF BUILDING).
- 8) ALL PLANTS IN THIS PROJECT ARE RESISTANT TO ASIAN LONG-HORNED BEETLE INFESTATION.



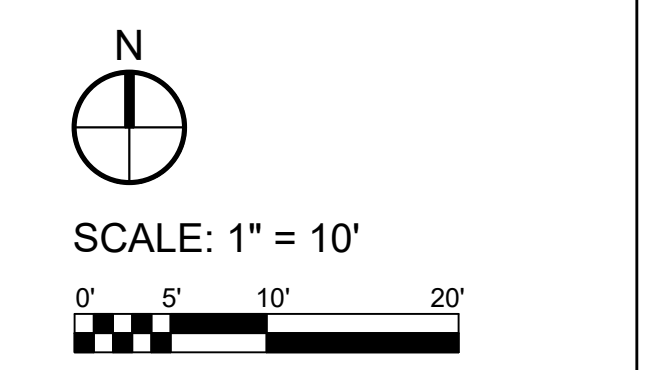
PROJECT:
1125 PLEASANT ST.
WORCESTER, MA

CLIENT:
CORNERSTONE
BANK

DATE: 5-14-24

REVISIONS:

NO.	DATE	DESCRIPTION



PLANTING PLAN:
BACK OF SITE

SHEET L102

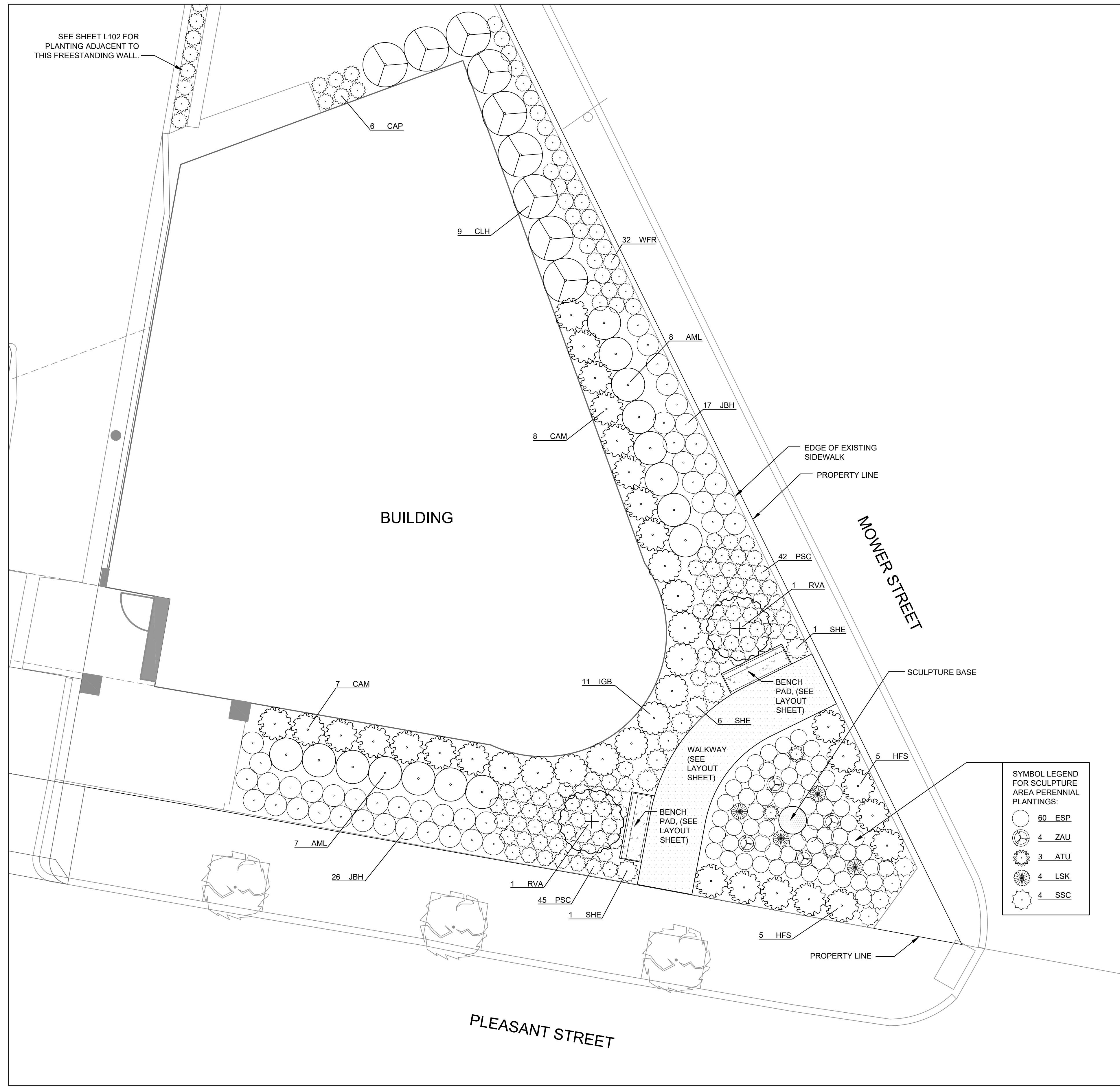


LEGEND: NOTE: NOT ALL SYMBOLS USED ARE INCLUDED IN THIS LEGEND. (THESE ARE JUST EXAMPLES.)

- PROPOSED PERENNIALS & GROUNDCOVERS
- PROPOSED SHRUBS

NOTES:

- 1) PLANT SPECIES, CULTIVARS, AND LOCATIONS SHALL NOT BE CHANGED EXCEPT BY PERMISSION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL CHECK PLANT MATERIAL FROM NURSERIES BEFORE ACCEPTING PLANTS, TO MAKE SURE THERE ARE NO UNAUTHORIZED SUBSTITUTIONS. ALTERNATE CULTIVARS OF THE SAME SPECIES SHALL NOT BE SUBSTITUTED WITHOUT LANDSCAPE ARCHITECT'S APPROVAL.
- 2) THE CONTRACTOR SHALL CHECK WITH ALL WHOLESALE NURSERIES WITHIN 100 MILE RADIUS OF THE PROJECT SITE FOR AVAILABILITY OF SPECIFIED PLANT MATERIALS, BEFORE PROPOSING ANY SUBSTITUTES.
- 3) PLANTS SHALL BE INSTALLED AT LEAST HALF OF THEIR ON-CENTER SPACING FROM ADJACENT WALLS AND PAVEMENT, UNLESS SHOWN OTHERWISE.
- 4) SEE SHEET L104 FOR PLANT SCHEDULE, DETAILS, AND TECHNICAL NOTES.
- 5) ALL AREAS TO RECEIVE PLANTINGS ON THE FRONT SIDE OF THE SITE SHALL FIRST RECEIVE 6" OF LOAM AS SPECIFIED ON SHEET L104.
- 6) SEE SHEET L102 FOR PLANTING BACK SIDE OF SITE (EXCEPT FOR AREA ADJACENT TO BUILDING).
- 7) SEE CIVIL SHEETS FOR REMOVAL OF EXISTING PLANTS ON FRONT SIDE OF SITE (AREAS ADJACENT TO FRONT AND STREET SIDES OF BUILDING). SEE SHEET L102 FOR REMOVAL OF EXISTING PLANTS ON BACK SIDE OF SITE.
- 8) ALL PLANTS IN THIS PROJECT ARE RESISTANT TO ASIAN LONG-HORNED BEETLE INFESTATION.



- SYMBOL LEGEND FOR SCULPTURE AREA PERENNIAL PLANTINGS:**
- 60 ESP
 - 4 ZAU
 - 3 ATU
 - 4 LSK
 - 4 SSC

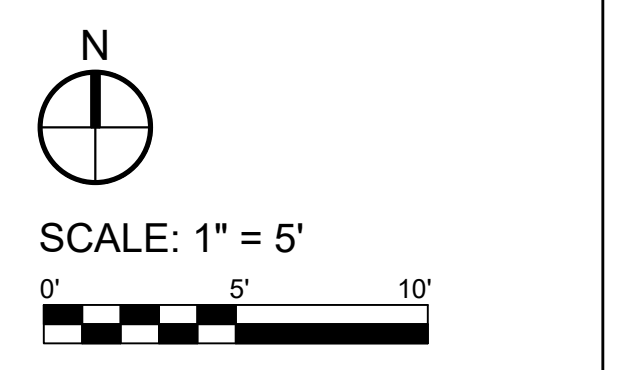
PROJECT:
1125 PLEASANT ST.
WORCESTER, MA

CLIENT:
CORNERSTONE
BANK

DATE: 5-14-24

REVISIONS:

NO.	DATE	DESCRIPTION



PLANTING PLAN:
FRONT OF SITE

SHEET L103

TECHNICAL NOTES FOR LOAM BORROW:

- SCOPE OF WORK:** FOR THIS PROJECT, THE WORK SHALL INCLUDE PLACING LOAM ALL AREAS TO RECEIVE PLANTS AND TURFGRASS SEEDING.
- THE CONTRACTOR SHALL FURNISH A CERTIFIED LABORATORY REPORT SHOWING THE SOILS CLASSIFICATION AND NUTRIENT ANALYSIS OF REPRESENTATIVE SAMPLES OF THE LOAM THIS IS PROPOSED TO BE USED, INCLUDING THE EXTENT OF LIME AND FERTILIZER REQUIRED. ALL COSTS FOR SUCH WORK SHALL BE BORNE BY THE CONTRACTOR.

3) IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THIS PROJECT, EXISTING ON-SITE SOIL MAY BE RE-USED AS LOAM BORROW ONLY IF IT MEETS THIS SPECIFICATION. EXISTING TOPSOIL THAT DOES NOT MEET THIS SPECIFICATION MAY BE RE-USED ONLY UP TO THE SUBGRADE ELEVATION WITHIN THE LIMITS OF AREAS TO RECEIVE NEW LOAM BORROW. THE CONTRACTOR SHALL FURNISH ALL REQUIRED LOAM BORROW, FROM OFF-SITE SOURCES, AS NECESSARY, TO COMPLETE THE PROJECT.

4) SCREENED LOAM SHALL BE "FINE SANDY LOAM" OR "SANDY LOAM" DETERMINED BY MECHANICAL ANALYSIS (ASTM D-422) AND BASED ON THE "USDA CLASSIFICATION SYSTEM". SCREENED LOAM SHALL HAVE THE FOLLOWING MECHANICAL ANALYSIS:

TEXTURAL CLASS PERCENTAGE	PERCENTAGE OF TOTAL WEIGHT	AVERAGE PERCENTAGE
SAND (0.05 - 2.0 MM)	45 - 75	60
SILT (0.002 - 0.05 MM)	5 - 35	25
CLAY (LESS THAN 0.002 MM)	5 - 20	15

5) SCREENED LOAM SHALL BE A NATURAL PRODUCT CONSISTING PRIMARILY OF NATURAL TOPSOIL, FREE FROM SUBSOIL, AND OBTAINED FROM AN AREA THAT HAS NEVER BEEN STRIPPED BEFORE. SCREENED LOAM SHALL NOT CONTAIN LESS THAN FIVE PERCENT (5%) NOR MORE THAN TEN PERCENT (10%) ORGANIC MATTER, TO ADJUST ORGANIC MATTER CONTENT, THE SOIL MAY BE AMENDED, PRIOR TO SITE DELIVERY, BY THE ADDITION OF COMPOSTED LEAF MOLD OR PEAT MOSS. NO MIXING OR AMENDING OF LOAM IS PERMITTED ON SITE.

6) THE LOAM SHALL NOT BE DELIVERED IN A WET OR FROZEN CONDITION.

7) SCREENED LOAM SHALL CONSIST OF FERTILE, FRIABLE, LOAM CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. LOAM SHALL BE WITHOUT ADMIXTURE OF SUBSOIL AND REFUSE. IT SHALL BE A HOMOGENEOUS MATERIAL FREE OF STONES GREATER THAN ONE-HALF (1/2) INCH IN THE LONGEST DIMENSION, FREE OF LUMPS, PLANTS, GRASS, ROOTS, STICKS, EXCESSIVE STONE CONTENT, DEBRIS, AND EXTRANEOUS MATTER AS DETERMINED BY THE OWNER.

8) SCREENED LOAM SHALL BE WITHIN THE PH RANGE OF 6.0 TO 6.5. IT SHALL BE UNCONTAMINATED BY SALT WATER, FOREIGN MATTER, AND SUBSTANCES HARMFUL TO PLANT GROWTH. THE MAXIMUM SOLUBLE SALT INDEX SHALL BE 100. SCREENED LOAM SHALL NOT HAVE LEVELS OF ALUMINUM GREATER THAN 200 PARTS PER MILLION.

9) SEE TURFGRASS NOTES FOR LIME AND FERTILIZER REQUIREMENTS FOR LAWN AREAS.

10) TOPSOIL STRUCTURE SHALL NOT BE DESTROYED THROUGH EXCESSIVE AND UNNECESSARY HANDLING OR COMPACTION. INAPPROPRIATE HANDLING LEADING TO THE COMPACTION OF DETERIORATION OF SOIL STRUCTURE WILL RESULT IN REJECTION OF TOPSOIL FOR USE.

11) AT NO TIME SHALL EQUIPMENT OR MATERIAL REST ON THE SOIL.

12) THE CONTRACTOR SHALL FURNISH AND SPREAD LOAM TO A MINIMUM 6 INCH DEPTH (AFTER SOIL SETTLEMENT) IN ALL LAWN AND PLANT BED AREAS. SUBSOIL SHALL BE SCARIFIED PRIOR TO PLACEMENT OF LOAM. THE TOP OF THE SETTLED LOAM BORROW LAYER SHALL BE TO GRADES SPECIFIED ON THE DRAWINGS. NO COMPACTION SHALL BE REQUIRED BEYOND THAT EXTENT NECESSARY TO PLACE SOD OR TO PLANT TREES AND SHRUBS TO ENSURE AGAINST UNEVENNESS OR SETTLING BELOW ACCEPTED GROWTH LINES.

TECHNICAL NOTES FOR TREE, SHRUB, GROUNDCOVER, AND PERENNIAL PLANTINGS:

1) **NOMENCLATURE:** THE NAMES OF PLANTS REQUIRED UNDER THIS CONTRACT SHALL CONFORM TO THOSE GIVEN IN STANDARDIZED PLANT NAMES, LATEST EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT INCLUDED THEREIN SHALL CONFORM GENERALLY WITH NAMES ACCEPTED IN THE NURSERY TRADE.

2) **QUALITY AND SIZE:** PLANTS SHALL HAVE A HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES AND SHALL BE SOUND, HEALTHY, VIGOROUS, AND FREE FROM INSECT PESTS, PLANT DISEASES, AND INJURIES. ALL PLANTS SHALL EQUAL OR EXCEED THE MEASUREMENTS SPECIFIED IN THE PLANT LIST, WHICH ARE MINIMUM ACCEPTABLE SIZES. THEY SHALL BE MEASURED BEFORE PRUNING IS DONE AT TIME OF PLANTING. REQUIREMENTS FOR THE MEASUREMENTS, BRANCHING, GRADING, QUALITY, BALLING, AND BURLAPPING OF PLANTS IN THE PLANT LIST SHALL FOLLOW THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN ASSOCIATIONS OF NURSERYMEN, INC. IN "THE AMERICAN STANDARD FOR NURSERY STOCK".

3) **SUBSTITUTIONS:** SUBSTITUTIONS WILL BE PERMITTED ONLY UPON SUBMISSION OF PROOF THAT ANY PLANT AS SPECIFIED IS NOT OBTAINABLE DURING THE SCHEDULED PLANTING SEASON. WRITTEN AUTHORIZATION BY THE LANDSCAPE ARCHITECT SHALL BE REQUIRED FOR ANY SUBSTITUTION. THE NEAREST EQUIVALENT SIZE OR VARIETY OF PLANT HAVING THE SAME ESSENTIAL CHARACTERISTICS SHALL BE PROPOSED FOR SUBSTITUTION.

4) **BALLED AND BURLAPPED MATERIALS:** PLANTS DESIGNATED "B&B" IN THE PLANT LIST SHALL BE BALLED AND BURLAPPED. THEY SHALL BE DUG WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. MATERIAL SHALL BE IN A CONDITION WHERE THE NATURAL ROOT COLLAR OF THE PLANT IS WITHIN APPROXIMATELY TWO (2) INCHES OF THE SOIL LEVEL OF THE BALL. BALLS SHALL BE FIRMLY WRAPPED WITH BURLAP OR SIMILAR MATERIAL AND BOUND WITH TWINE, CORD, OR WIRE MESH. NO SYNTHETIC FABRIC IS ALLOWED. WHERE NECESSARY TO PREVENT BREAKING OR CRACKING OF THE BALL DURING THE PROCESS OF PLANTING, THE BALL MAY BE SECURED TO A PLATFORM. BALLS SHALL BE KEPT MOIST AND SHADED UNTIL THEY ARE PLANTED. REMOVE ALL BALL TIES OR STRAPPING FROM ROOT BALL PRIOR TO PLANTING. PLANT IN ACCORDANCE WITH TREE AND SHRUB PLANTING DETAILS. BALLED AND BURLAPPED TREES SHALL ONLY BE DUG IN THE SPRING.

5) **CONTAINER-GROWN MATERIALS:** PLANTS NOT DESIGNATED OTHERWISE IN THE PLANT LIST MAY BE PURCHASED AS CONTAINER-GROWN OR BALLED/BURLAPPED. CONTAINER-GROWN PLANTS, IF STORED ON THE SITE, SHALL BE WATERED THOROUGHLY AT LEAST ONCE EVERY 48 HOURS. ROOT SYSTEMS OF CONTAINER-GROWN PLANTS SHALL BE WELL-DEVELOPED BUT NOT IN "POT-BOUND" CONDITION OF DENSE, ENCIRCLING ROOTS. THE ROOT BALL OF THE PLANT SHALL BE LOOSESED TO ALLEVIATE ENCIRCLING ROOTS AND TO PROVIDE AN INCREASED ROOT INTERFACE WITH THE FILL SOIL. PLANT IN ACCORDANCE WITH TREE, SHRUB, AND GROUNDCOVER PLANTING DETAILS. CONTAINER-GROWN TREES SHALL ONLY BE PLANTED IN THE FALL (SEPTEMBER - OCTOBER).

6) **PROTECTION OF PLANTS PRIOR TO INSTALLATION:** THE ROOT ZONE OF ALL PLANTS NOT YET INSTALLED SHALL BE PROTECTED FROM FREEZING, DRYING, AND DIRECT SUNLIGHT.

7) **MULCHING:** DOUBLE-SHREDDED HARDWOOD MULCH SHALL BE USED AS THE MULCH FOR ALL PLANT BEDS INDICATED ON THE LANDSCAPE PLAN, INCLUDING AREAS SURROUNDING THE PLANTS AS SHOWN ON THE TREE, SHRUB, AND GROUNDCOVER PLANTING DETAILS.

8) **PLANTING SEASON:** THE NORMAL PLANTING SEASON IS APRIL THROUGH NOVEMBER. SOME PLANTS SPECIFIED AS BALLED AND BURLAPPED CANNOT BE DUG DURING PORTIONS OF THIS PLANTING SEASON -- CHECK WITH NURSERIES FOR SPECIFICS. PLANTING OPERATIONS SHALL BE CONDUCTED UNDER FAVORABLE WEATHER CONDITIONS DURING THE NORMAL PLANTING SEASON.

9) **WEATHER CONDITIONS:** PLANTING SHALL NOT TAKE PLACE WHEN SOILS ON SITE ARE FROZEN OR WET AND IN POOR TILTH.

10) **LAYOUT:** NEW PLANTINGS SHALL BE LOCATED ACCORDING TO THE LANDSCAPE PLAN. THE CONTRACTOR SHALL STAKE THE PLANT LOCATIONS, AND SHALL THEN CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL.

11) **SETTING PLANTS:** ALL PLANTS SHALL BE PLANTED IN PREPARED SOILS BEDS, AND SET ON FIRM SOIL TO SUCH DEPTH AS INDICATED IN THE PLANTING DETAILS. TREES, SHRUBS, GROUNDCOVERS, AND PERENNIALS SHALL BE SET SO THAT THE PLANT'S NATURAL ROOT COLLAR OR CROWN IS ABOVE FINISHED GRADE AT THE HEIGHTS INDICATED IN THE PLANTING DETAILS. NO BURLAP SHALL BE PULLED FROM UNDER THE BALLS. ROOTS ON BARE-ROOT PLANTS SHALL BE SPREAD IN THEIR NORMAL POSITION. ALL BROKEN OR FRAYED ROOTS SHALL BE CUT OFF CLEANLY. PREPARED SOIL SHALL BE PLACED AND COMPACTED CAREFULLY TO AVOID INJURY TO ROOTS, TO FILL ALL VOIDS, AND TO MINIMIZE ROCKING OF ROOT BALL. ADD WATER AND TAMP THE BACKFILL UNTIL THE BACKFILL IS COMPLETELY SATURATED, THEN ALLOW IT TO SOAK AWAY. FILL THE HOLE TO FINISHED GRADE, AND FORM A SAUCER AROUND EACH TREE AND SHRUB BY PLACING A RIDGE OF TOPSOIL AROUND THE EDGE OF EACH ROOT BALL, IN ACCORDANCE WITH THE PLANTING DETAILS. AFTER THE GROUND SETTLES, ADDITIONAL SOIL SHALL BE FILLED IN TO THE LEVEL OF THE FINISHED GRADE, AND WATERED.

12) **STAKING TREES:** DO NOT STAKE TREES, UNLESS TREES ARE PLANTED ON STEEP SLOPES, IN WHICH CASE THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR PERMISSION TO STAKE THOSE TREES.

13) **MAINTENANCE:** MAINTAIN PLANTS AND PLANT BEDS FROM THE TIME OF INSTALLATION UNTIL THE FINAL INSPECTION IMMEDIATELY PRIOR TO COMMENCEMENT OF THE GUARANTEE PERIOD. MAINTENANCE SHALL INCLUDE WATERING AND PROTECTION OF PLANTINGS AND OTHER NECESSARY OPERATIONS.

14) **FINAL INSPECTION:** WHEN THE TREE AND SHRUB PLANTINGS ARE READY FOR FINAL INSPECTION, ALL MULCHED AREAS SHALL BE FREE FROM WEEDS AND MULCHED TO THE EXTENT INDICATED ON THESE DRAWINGS. PLANT TAGS SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO THE INSPECTION FOR ACCEPTANCE.

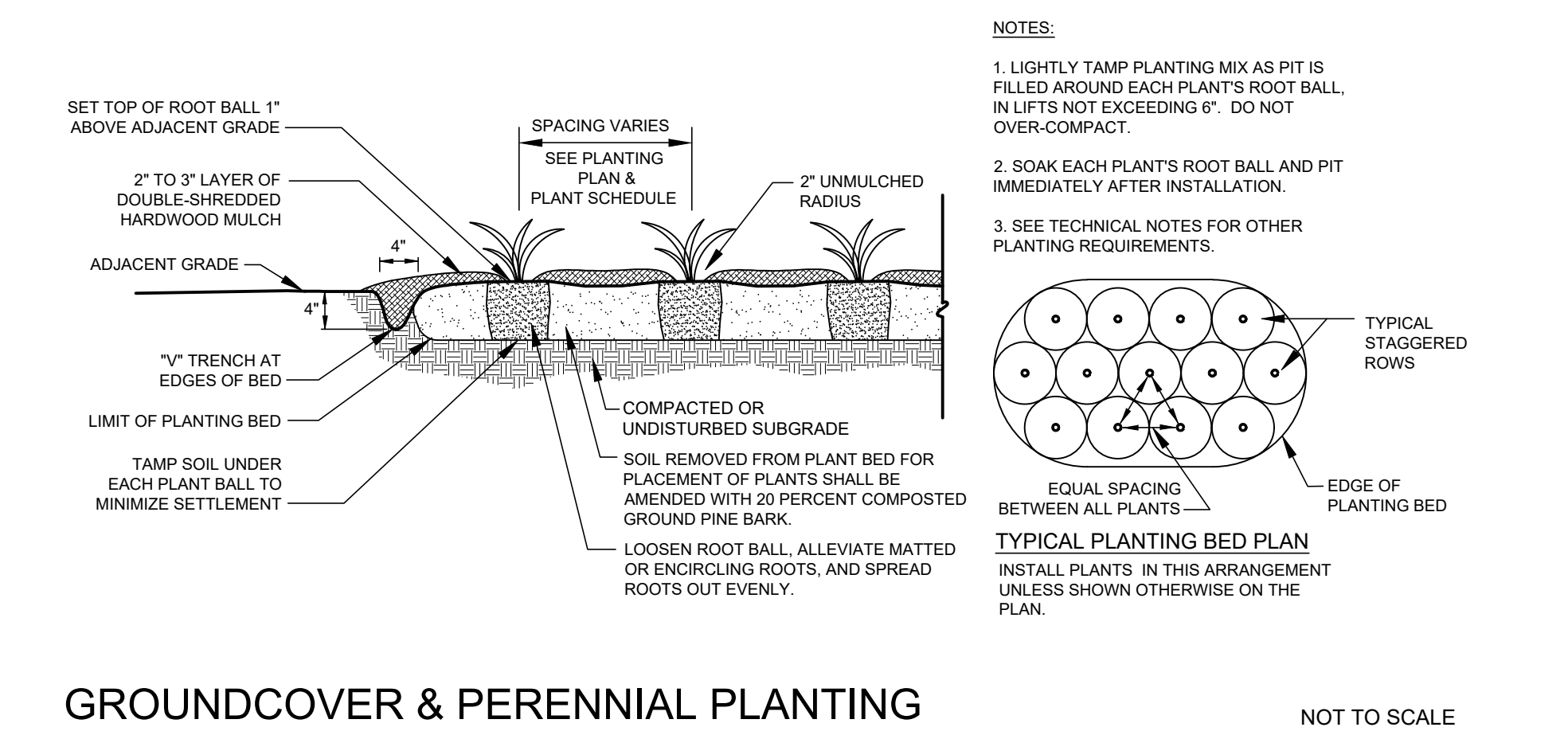
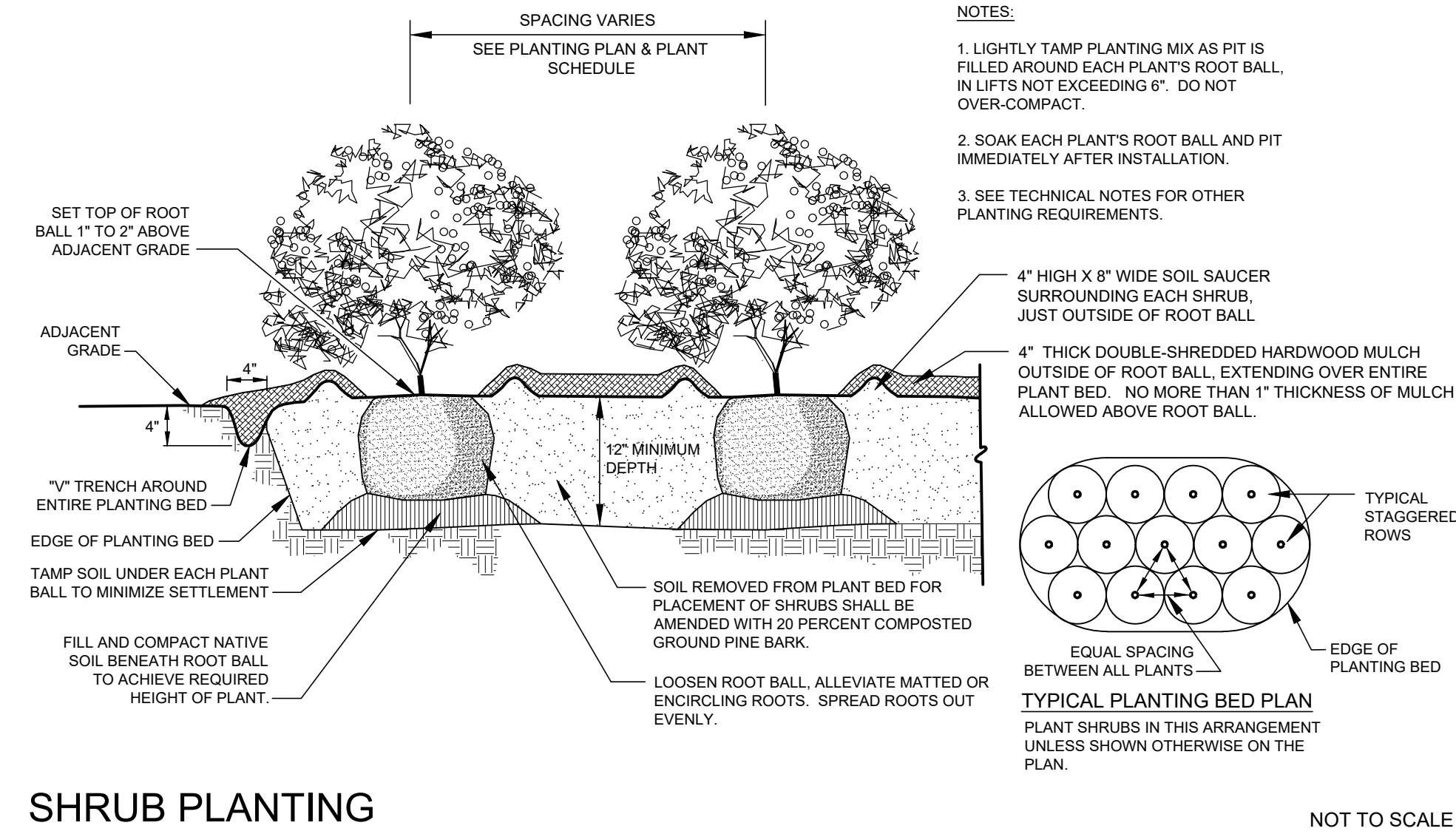
15) **GUARANTEE:** AFTER ACCEPTANCE AT TIME OF FINAL INSPECTION, ALL PLANTS SHALL BE GUARANTEED FOR ONE (1) YEAR. PLANTINGS SHALL BE ALIVE AND IN SATISFACTORY VIGOR AT THE END OF THE GUARANTEE PERIOD.

16) **REPLACEMENT:** AT THE END OF THE GUARANTEE PERIOD, ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR IN POOR VIGOR SHALL BE REMOVED FROM THE SITE. THESE AND ANY MISSING PLANTS SHALL BE REPLACED AS SOON AS CONDITIONS PERMIT, BUT DURING THE NORMAL PLANTING SEASON. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AS ORIGINALLY PLANTED AND SHALL BE OF SIZE EQUAL TO THAT ATTAINED BY ADJACENT PLANTS OF THE SAME KIND AT THE TIME REPLACEMENT IS MADE. ONLY ONE REPLACEMENT WILL BE REQUIRED FOR EACH PLANT DECLARED DEAD, IN AN UNHEALTHY OR BADLY IMPAIRED CONDITION, OR MISSING AT THE TIME OF FINAL INSPECTION.

PLANT SCHEDULE					
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE AT PLANTING	PLANT SPACING & NOTES
SHRUBS					
AML	15	ARONIA MELANOCARPA 'LOWSCAPE MOUND'	LOWSCAPE MOUND ARONIA	# 3 POT	PLANT 3' ON CENTER
CAM	15	CEANOTHUS AMERICANUS	NEW JERSEY TEA	# 3 POT	PLANT 3' ON CENTER
CLH	9	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	# 3 POT	PLANT 4' ON CENTER
HFS	10	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHN'S WORT	# 3 POT	PLANT 3' ON CENTER
IGB	11	ILEX GLABRA 'GEM BOX'	GEM BOX INKBERRY	# 3 POT	PLANT 3' ON CENTER
ISH	12	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	# 5 POT	PLANT 4' ON CENTER
RAG	31	RHUS GLABRA 'GRO-LOW'	GRO-LOW SUMAC	# 3 POT	PLANT 3' ON CENTER
RVA	2	ROSA VIRGINIANA	VIRGINIA ROSE	# 7 POT	PLANT WHERE SHOWN
GROUNDCOVERS					
JBH	43	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	# 2 POT	PLANT 2' ON CENTER
JHY	33	JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	YOUNGSTOWN JUNIPER	# 3 POT	PLANT 3' ON CENTER
PSC	87	PHLOX SUBULATA 'CANDY STRIPE'	CANDY STRIPE MOSS PHLOX	QUART POT	PLANT 18" ON CENTER
WFR	101	WALDSTEINIA (GEUM) FRAGARIOIDES	BARREN STRAWBERRY	QUART POT	PLANT 18" ON CENTER
PERENNIALS & ORNAMENTAL GRASSES					
ATU	3	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	# 1 POT	PLANT 18" ON CENTER
CAP	16	CAREX AMPHIBOLA*	CREEK SEDGE*	# 1 POT	PLANT 18" ON CENTER
ESP	60	ERAGROSTIS SPECTABILIS	PURPLE LOVEGRASS	# 1 POT	PLANT 18" ON CENTER
LSK	4	LIATRIS SPICATA 'KOBOLD'	KOBOLD BLAZINGSTAR	# 1 POT	PLANT 18" ON CENTER
SHE	8	SPOROBOLUS HETEROLEPSIS	PRAIRIE DROPSSEED	# 1 POT	PLANT 2' ON CENTER
SSC	4	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	# 1 POT	PLANT 1'-10" ON CENTER
ZAU	4	ZIZIA AUREA	GOLDEN ALEXANDERS	# 1 POT	PLANT 18" ON CENTER

NOTE: PLANT SPECIES, CULTIVARS, SIZES, AND LOCATIONS SHALL NOT BE CHANGED EXCEPT BY PERMISSION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL CHECK PLANT MATERIAL FROM NURSERIES BEFORE ACCEPTING PLANTS, TO MAKE SURE THERE ARE NO UNAUTHORIZED SUBSTITUTIONS. ALTERNATE CULTIVARS OF THE SAME SPECIES SHALL NOT BE SUBSTITUTED WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. THE CONTRACTOR SHALL CHECK WITH ALL WHOLESALE NURSERIES WITHIN 100 MILE RADIUS OF THE PROJECT SITE FOR AVAILABILITY OF SPECIFIED PLANT MATERIALS, BEFORE PROPOSING ANY SUBSTITUTES.

*IF CAREX AMPHIBOLA IS NOT AVAILABLE AS NOTED IN THE PARAGRAPH ABOVE, CONTRACTOR MAY SUBSTITUTE CAREX APPALACHIA.



PROJECT:
1125 PLEASANT ST.
WORCESTER, MA

CLIENT:
CORNERSTONE
BANK

DATE: 5-14-24

REVISIONS:

NO.	DATE	DESCRIPTION

SCALE: NONE

PLANT SCHEDULE,
DETAILS, AND
TECHNICAL NOTES

SHEET L104